



**COMBINED WORKING REPORT AND  
HERITAGE DEVELOPMENT CONTROL  
PLAN STUDY**

for the West Wallsend Heritage Conservation  
Area and West Wallsend and Holmesville  
Heritage Precinct, Lake Macquarie

**FINAL**

September 2024



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### **FINAL**

Prepared by  
**Umwelt (Australia) Pty Limited**  
on behalf of  
**Lake Macquarie City Council**

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# Revised DCP Controls Document

Revised DCP Controls - Part 11.2 Heritage Area Plan for the West Wallsend and Holmesville HCA

## Appendices

Appendix 1	Table of contribution gradings in relation to addresses within the Revised HCA
Appendix 2	Building Assessment Sheets (Inventory Sheets)

# 1.0 Introduction

Umwelt (Australia) Pty Ltd has been engaged by Lake Macquarie City Council (LMCC) to revise the sections of the *Lake Macquarie Local Environmental Plan 2014* (LMLEP 2014) and Lake Macquarie Development Control Plan 2014 (LMDCP 2014) that relate to the West Wallsend Heritage Conservation Area (HCA) and West Wallsend and Holmesville Heritage Precinct. These two areas are shown in **Figure 2.1** for reference.

As part of the scope of works, Umwelt were engaged to prepare a 'Working Report' detailing the following:

- a summary of the local and regional planning context
- the results of a site visit of the HCA and Heritage Precinct
- the results of a view analysis
- a revised statement of significance for the HCA
- recommendations for amendments to the LMLEP 2014, including:
  - changes to existing individual heritage listings and/or
  - proposed heritage listings
  - changes to the Height of Buildings Map; and
  - changes to the HCA boundaries.
- recommendations for amendments to the DCP, including:
  - changes to the Heritage Precinct boundaries
  - changes to the existing DCP objectives and controls.

Based on the findings of the Working Report, revisions to the LMLEP 2014 and LMDCP 2014 are proposed. This includes the expansion of the existing HCA boundaries to encompass parts of both West Wallsend and Holmesville, and the associated proposed name change for the HCA from 'West Wallsend Heritage Conservation Area' to 'West Wallsend and Holmesville Heritage Conservation Area'.

This report presents the combined Working Report and Heritage Development Control Plan study for the proposed West Wallsend and Holmesville HCA, including these proposed changes.

A summary of contribution gradings in relation to property addresses within the revised HCA are included within **Appendix 1**. Building Assessment sheets (or Inventory Sheets) for all properties within the revised HCA have been provided at **Appendix 2**. Note: this excludes dwellings within the Apple Tree Grove Estate and individually listed heritage items as included in Schedule 5 of the LM LEP 2014.

## 1.1 Limitations

The following limitations apply to this study:

- The Building Assessment sheets have been prepared based on external visual inspection only. No internal inspections of privately-owned properties were undertaken as part of this study.
- The Building Assessment sheets are predominately informed by high-level historical research only, in accordance with project scope and budget constraints. Where additional information is provided by property owners as part of any future public consultation, the Building Assessment sheets will be amended to reflect this (where relevant).
- This study does not consider Aboriginal cultural heritage in detail (refer to **Section 2.6**). Further work is recommended to better understand the Aboriginal cultural heritage and shared values of the West Wallsend and Holmesville Heritage Conservation Area, with such work being outside the scope of this study.

## 2.0 Local and Regional Planning Context

### 2.1 Strategic Overview

West Wallsend and Holmesville are located in the north of Lake Macquarie, between the Pacific and George Booth Drive motorways. West Wallsend consists of two main roadways, Withers Street and Carrington Street which connect the suburb to Holmesville and Western Newcastle respectively, as well as accommodating the shopping, leisure and business centre of the township. Holmesville directly abuts the south western section of West Wallsend and consists of predominately residential properties with few commercial spaces.

The townships' historical backgrounds are associated with coal mining activities of the late 19<sup>th</sup> century and were a part of a much larger group of communities established to accommodate coal workers and their families. Mining activity experienced a noted reduction by 1972 and in 2016 the West Wallsend Colliery near Killingworth ceased operation. Today, the areas attract a diverse socio-economic range of residents attracted to the relative isolation, country aesthetic and natural surrounds.

The townships are located in the western portion of the North West Growth Area identified in Council's Local Strategic Planning Statement (LSPS) 2020 (refer to **Plate 2.1**). The LSPS guides the growth of Lake Macquarie City in line with State and regional planning goals.

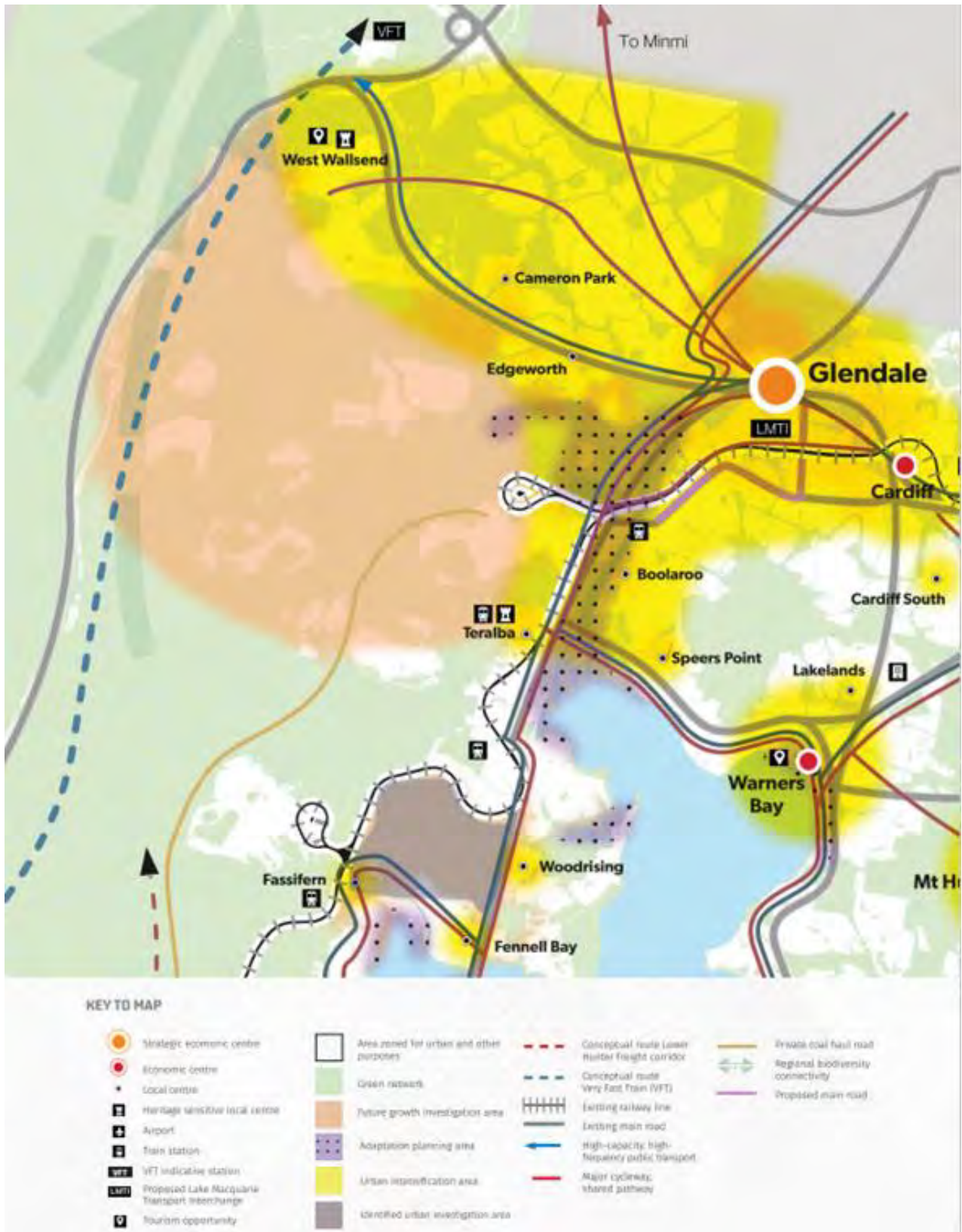
The North West Growth Area has some important attributes. As stated in the LSPS:

*Its proximity to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities. There is great potential for the Glendale – West Wallsend Urban Intensification Corridor to increase supply of diverse and affordable housing. The western edge of this corridor is a potential location for a Very Fast Train station that could support surrounding intense housing and employment, while the high heritage and biodiversity values within this area will be retained and contribute to the overall liveability.*

The West Wallsend Precinct, which includes land to the north of the centre, is identified as one of nine precincts in the North West Growth Area. Priorities for this precinct include:

- the protection and enhancement of the heritage values of the area, including Aboriginal cultural heritage
- human-scale, pedestrian friendly development on Carrington and Withers Street
- opportunities associated with adventure tourism
- explore opportunities for more intensive and diverse housing types.

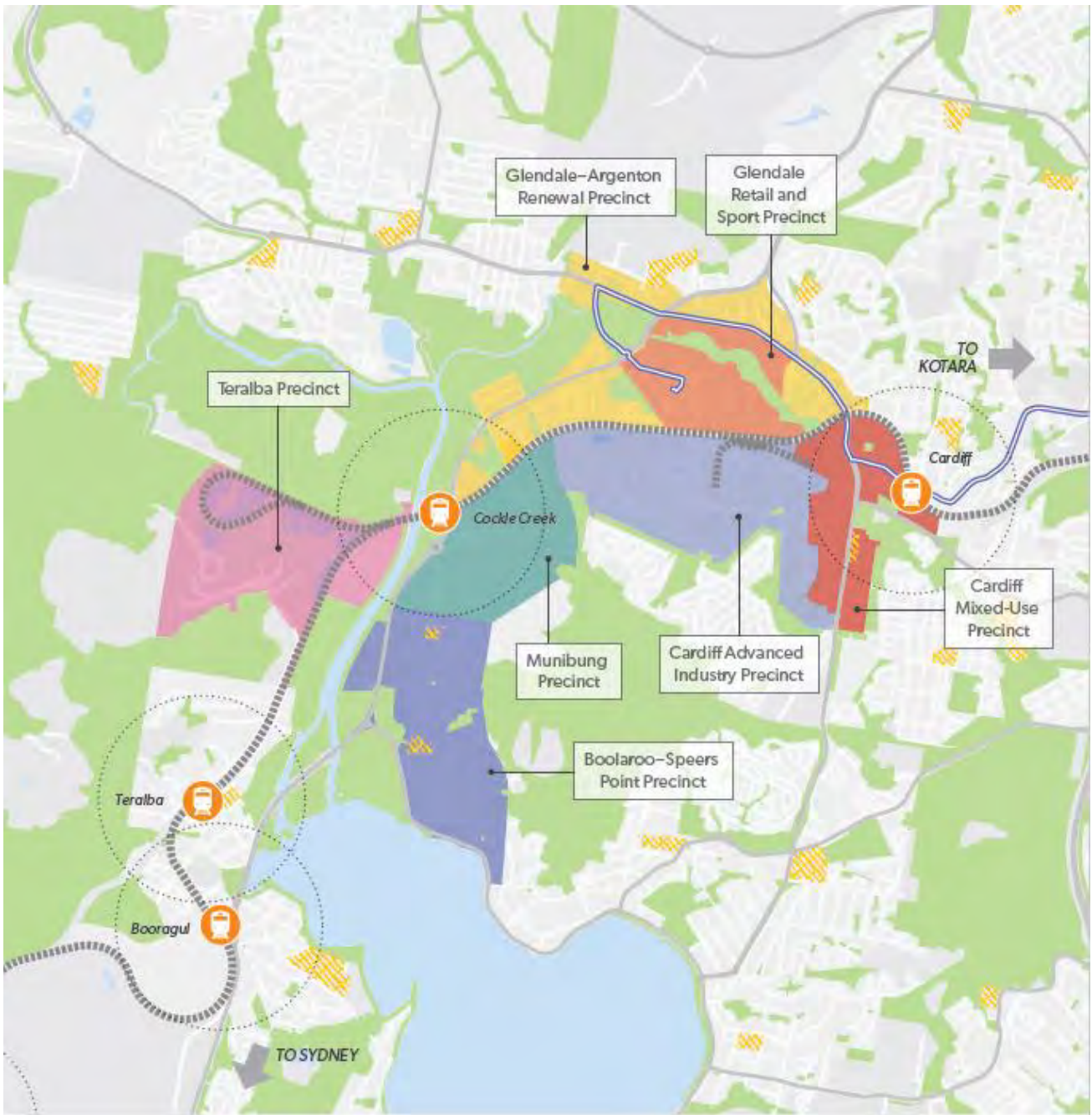
The North West Growth Area (**Plate 2.1**) incorporates the North West Lake Macquarie Catalyst Area (**Plate 2.2**) identified in the *Greater Newcastle Metropolitan Plan (GNMP) 2036*. The North West Catalyst Area will drive investment and change in the broader North West Growth Area.



**Plate 2.1 North West Growth Area**

Source: Local Strategic Planning Statement, LMCC 2021.





**Plate 2.2 North West Catalyst Area**

Source: Greater Newcastle Metropolitan Plan, LMCC 2021.



Although not in the catalyst area, West Wallsend and Holmesville will play a role in supporting change in the area. The Catalyst Area provides opportunity to generate significant jobs, diversity of housing supply, and add more advanced manufacturing, recreation, open space and services to the broader region. The proximity of the Catalyst Area to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities. These opportunities may include providing:

- large format retail, advanced manufacturing, office-based jobs and open space within a regionally significant catchment
- a strategic gateway to Greater Newcastle and
- an urban renewal precinct, meeting demand for affordable medium-density housing and enhanced lifestyle amenities.

Both West Wallsend and Holmesville are well positioned in relation to potential future transport corridors, such as a Very Fast Train route, which would have transformational impacts on the towns, and could result in renewed economic importance for both neighbourhood centres. The potential for a high-speed railway and a corresponding station near West Wallsend have previously been identified at a high-level by the Australian Government.

In addition, land surrounding West Wallsend and Holmesville has also been identified for the recommended Lower Hunter Freight Bypass Corridor (LHFBC), which was published by Transport for NSW on 12 July 2021 for community consultation<sup>1</sup>. The LHFBC will be a critical infrastructure project providing essential rail capacity for passenger and freight train growth across the broader Greater Newcastle rail network by separating the majority of freight and passenger rail services.

The LHFBC is in the initial conceptual design and consultation phase. Therefore, any comprehensive environmental assessment, design, potential acquisition of land and eventual construction will be a long-term endeavour.

Nevertheless, the LHFBC does have potential to impact West Wallsend and Holmesville's heritage curtilage, locally listed heritage items, pedestrian and vehicle connectivity, biodiversity values and scenic landscape qualities, while creating both temporary and ongoing noise, vibration and general amenity impacts. These impacts will require comprehensive consideration during the detailed environmental assessment of the LHFBC, while being consistent with the objectives and outcomes of this report and its recommendations.

Conclusively, enabling growth and more intensive development in West Wallsend and Holmesville while conserving the important heritage of the areas is a key challenge. The LSPS highlights this need to review the existing West Wallsend HCA to balance development and growth pressures with delivery of heritage conservation outcomes.

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<sup>1</sup> Note: The Lower Hunter Freight Corridor was confirmed in December 2022. As this will not influence the recommendations made in this report, no amendments to the above information has been undertaken.



North West Lake Macquarie Catalyst Area  
(Greater Newcastle Metropolitan Plan)



North West Growth Area  
(Local Strategic Planning Statement)

### Plate 2.3 Comparison of boundaries between the North West Lake Macquarie Catalyst Area and North West Growth Area

Source: LMCC 2021.

#### 2.1.1 Current Draft LEP/DCP Amendment

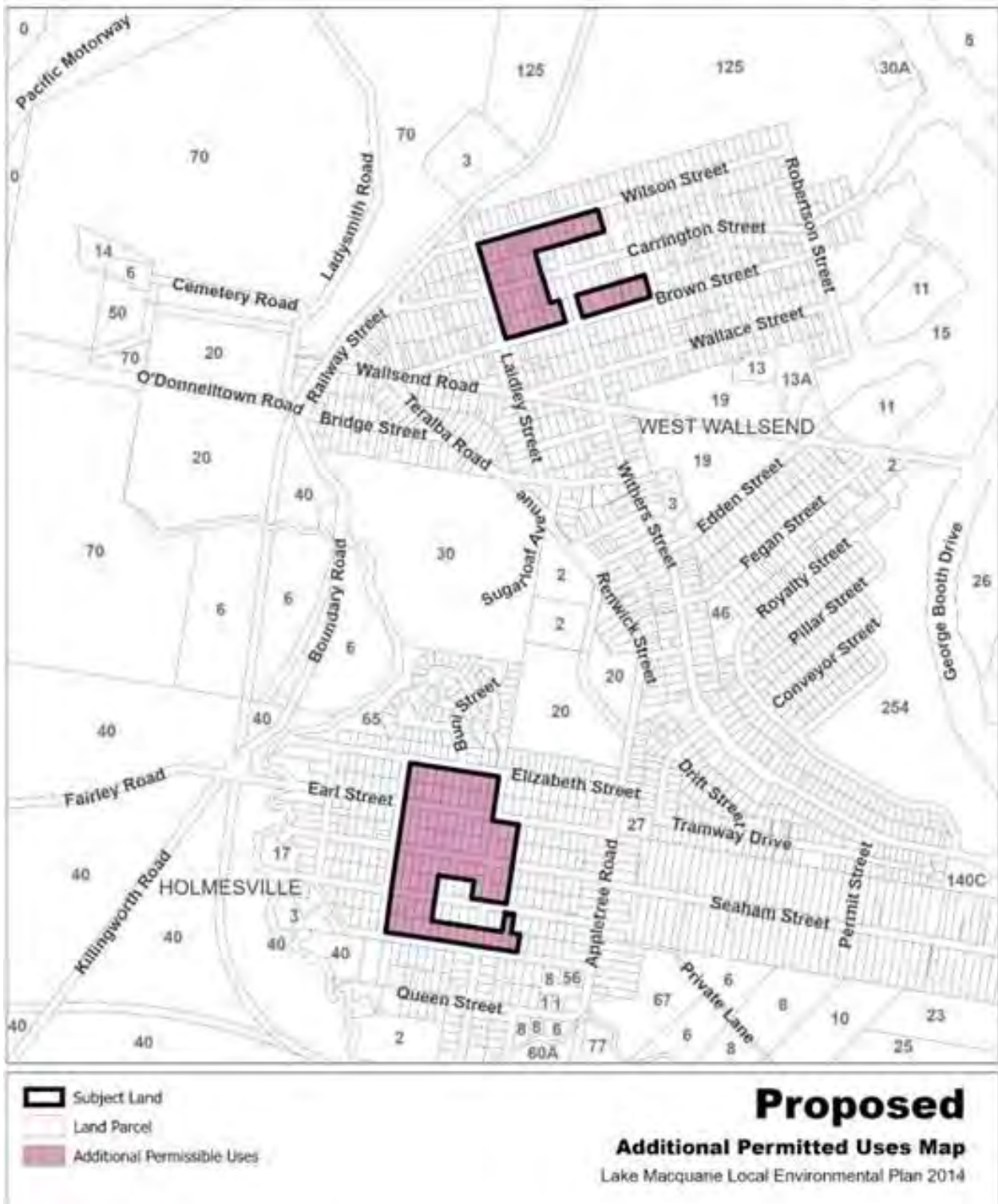
The draft LM LEP 2014 and draft LM DCP 2014 *Infill Housing Amendments* were exhibited from 5 October 2021 to 1 November 2021<sup>2</sup>. The draft amendment implements a number of actions of the adopted Lake Macquarie Housing Strategy and will assist in facilitating greater housing diversity and affordability in existing medium density residential areas. The LEP amendment applies to approximately 8,000 lots within the Lake Macquarie LGA and includes:

- marginal increase to current building heights
- additional Permitted Use (APU) of dual occupancy development on certain land
- minor amendment to the R3 Medium Density Residential Zone boundary to better support town centres
- amendment to Clause 4.1A to permit lots below 200 m<sup>2</sup> where supported by sound design to allow greater flexibility of lot sizes, encourage a range of housing types, overall housing diversity and affordability.

<sup>2</sup> Note: The Infill Housing Amendment was adopted in 2024 (Amendment No. 54 to the Lake Macquarie Local Environmental Plan 2014, published on page 28 June 2024). As this will not influence the recommendations made in this report, no amendments to the above information has been undertaken.

The DCP amendments support the LEP changes and provide more detailed guidance for quality medium density development. Under the draft amendment, it is proposed to permit dual occupancy as an Additional Permitted Use in part of West Wallsend and part of Holmesville (refer to **Plate 2.4**). It is noted that approval for dual occupancy will still be required, and any proposal for dual occupancy in the areas shown in **Plate 2.4** will need to consider and be consistent with relevant heritage controls.

The draft amendment does not propose any other changes to existing planning or heritage controls (including height controls) within the West Wallsend Heritage Precinct (which forms the 'Wider Study Area' discussed throughout this study – refer to **Section 4.0**).



**Plate 2.4 Proposed areas where dual occupancy will be permitted under the *Infill Housing Amendments* (shown in pink)**

Source: LMCC 2021.

## 2.2 Overview of Policy and Planning Framework that Applies to West Wallsend and Holmesville

Overall, there has been a changing policy landscape for the West Wallsend and Holmesville area. This is due to State and local policy earmarking various growth opportunities throughout the years.

Under the previous Newcastle-Lake Macquarie Western Growth Corridor Strategy (2010) land between West Wallsend and Killingworth was envisioned to cater for significant employment and industrial development, with associated major road, road interchange and freight rail infrastructure. West Wallsend's outer boundary would also cater for greenfield residential development. Much of this potential development would be contained in current R2 Low Residential and RU6 Transition zoned land and would be subject to any future planning proposal. Refer to **Plate 2.5**.

Under current policy, such as the GNMP, the establishment of the North-West Catalyst Area has focused future employment and industry development to this area. While land zoned as R2 Low Density Residential and RU6 Transition in the West Wallsend and Holmesville area is identified as 'Housing Release Area' or 'Existing Urban Area with Infill Housing Opportunities' in the GNMP. Opportunities may also exist for RU6 Transition zoned land to be utilised for biodiversity banking.

Council's LSPS provides a broader position seeking investigation for any future development of these lands, which may result in additional uses other than housing. While Council's Housing Strategy seeks to support and pursue housing diversity and density around local centres.

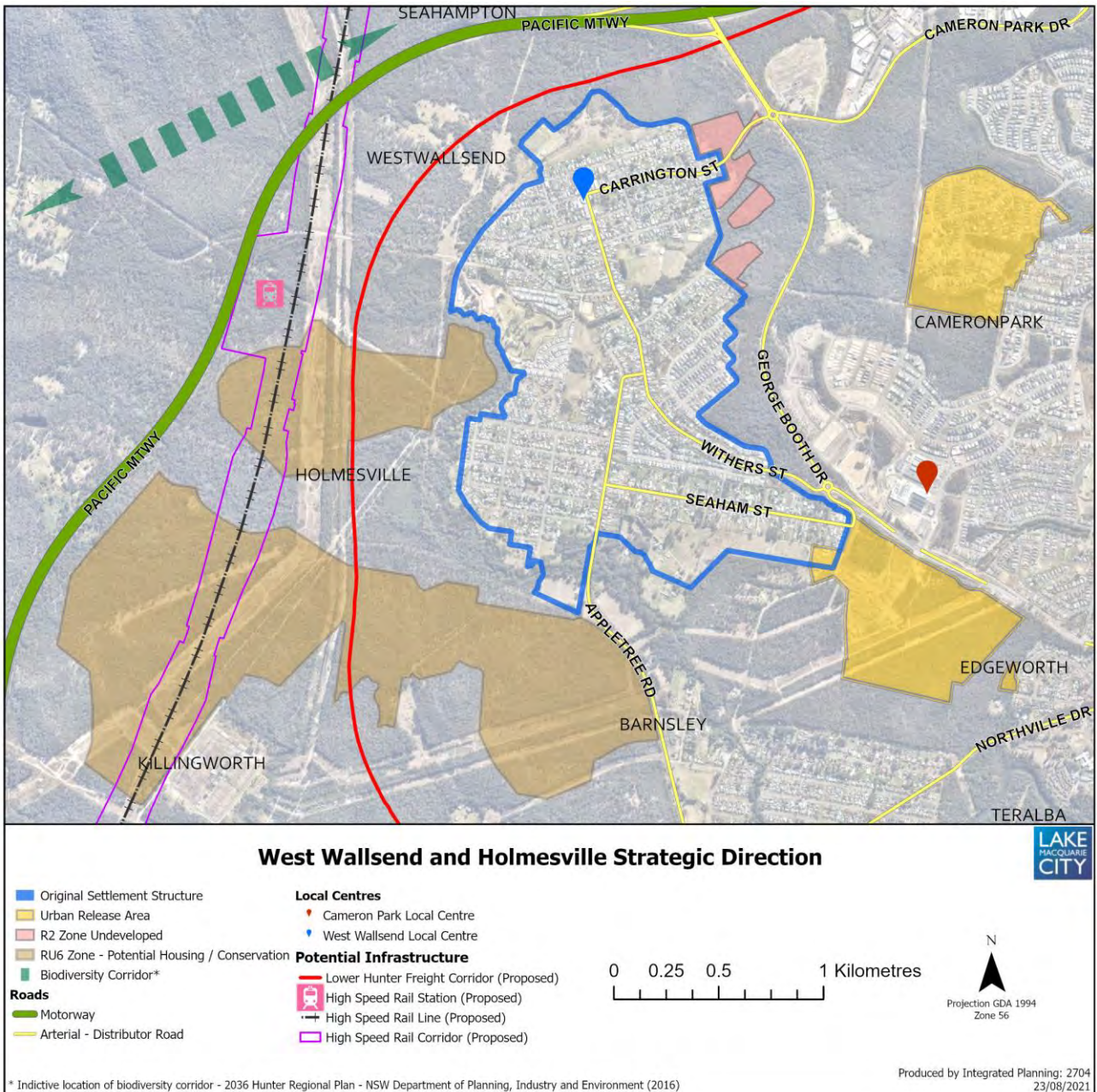
Critically, both indicative locations of the High-Speed Rail Line and Lower Hunter Freight Bypass Corridor (LHFBC) are proposed to traverse the western boundary of West Wallsend and Holmesville. Any potential for a future High-Speed Rail station near West Wallsend would drastically transform the regional importance of the area.

The LHFBC recommended corridor also requires comprehensive assessment of its impacts on a range of heritage, environmental, social and economic factors that need to be consistent with this report's objectives, outcomes and recommendations.

Taking the above into account, a high-level opportunities and constraints map provided below identifies land for potential future development. The proposed revised HCA boundaries presented and discussed in this report have taken the identified opportunities and constraints into consideration to ensure heritage conservation, future planning objectives and policy direction has been adequately addressed.

It is noted that the West Wallsend/Holmesville Heritage Precinct includes a sector known as the 'Appletree Grove Estate', which adjoins the existing residential areas of West Wallsend and Holmesville and is encompassed within the wider Heritage Precinct boundaries, as well as within the current HCA boundaries. This sector has its own unique planning context, and therefore also has its own specific development controls. Further detail regarding the Appletree Grove Estate, including its origins and relationship to the wider Heritage Precinct and HCA, is provided separately at **Section 2.4** below.





**Plate 2.5 West Wallsend and Holmesville Strategic Direction**

Source: LMCC 2021.

## 2.3 Applicable Planning Instruments

As part of the Lake Macquarie Local Government Area (LGA), both West Wallsend and Holmesville are subject to the objectives, provisions and controls of both the LMLEP 2014 and the LMDCP 2014.

### 2.3.1 Lake Macquarie LEP 2014

An LEP is the principal legal document for controlling development and guiding planning decisions made by a local Council. As per Schedule 5 of the LMLEP 2014 and associated mapping, the township of West Wallsend forms, in part, an HCA of local significance (reference 'C3'). The boundaries of the HCA are shown in **Figure 2.1** for reference. At present, LMCC has not identified or applied heritage significance or contribution gradings to properties within the HCA. It is noted that the township of Holmesville does not form part of this existing HCA.

Clause 5.10 of the LMLEP 2014 provides objectives and controls for the use, development and conservation of heritage items and areas listed on the LEP. The objectives of this clause are provided below for reference.

#### (1) Objectives

*The objectives of this clause are as follows:*

- a) *to conserve the environmental heritage of Lake Macquarie City,*
- b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- c) *to conserve archaeological sites,*
- d) *to conserve Aboriginal objects and Aboriginal places of heritage significance.*

There are 28 locally listed heritage items located within West Wallsend, as listed in Schedule 5 of the LMLEP 2014. These items are shown in **Figure 2.2**. It is noted that not all of these locally listed heritage items are located within the current HCA boundaries, as shown in **Figure 2.1**.

There are nine locally listed heritage items located within Holmesville, listed in Schedule 5 of the LMLEP 2014. These items are also shown in **Figure 2.2**.

The LEP also includes objectives and controls for building heights and minimum lot sizes within the HCA boundaries.

### 2.3.2 Lake Macquarie DCP 2014

A development control plan is a document that supports the planning controls in the LEP with more detailed planning and design guidelines developed by a Council. The LMDCP 2014 incorporates objectives and controls for works to heritage items, development in the vicinity of heritage items, and development within designated 'Heritage Areas' or precincts, as defined by the DCP.

Heritage item provisions are included throughout the DCP. Section 11.2 of the DCP ('West Wallsend/Holmesville Heritage Precinct') is specific to the West Wallsend/Holmesville Heritage Precinct (as mapped in this section of the DCP). This section of the DCP identifies 'specific issues relating to this locality' and provides a number of objectives and controls for development within the Precinct. These are provided in **Table 2.1** below for reference.

The boundaries of the West Wallsend/Holmesville Heritage Precinct are shown in **Figure 2.1**. Also shown in this figure are the boundaries of the Appletree Grove Estate, which forms part of the Precinct.

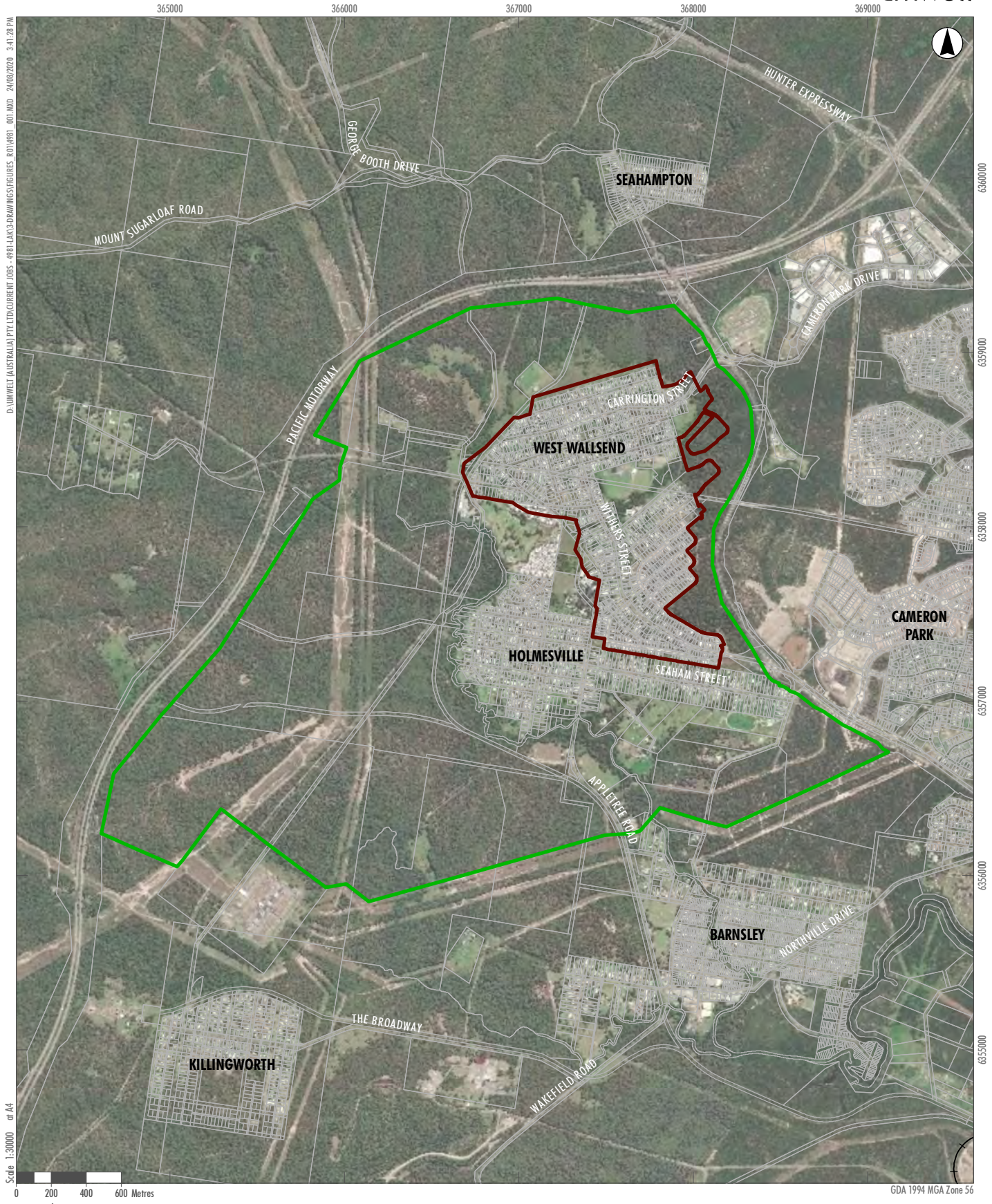
As noted above, the Appletree Grove Estate has its own unique planning context, and also has its own specific development controls (within Part 11.2 of the DCP). As this assessment does not propose any changes to the existing development controls that apply to the Estate, they are not considered further in this report. Further detail regarding the Appletree Grove Estate is provided separately at **Section 2.4** below.

**Table 2.1 Current DCP content in relation to West Wallsend and Holmesville Heritage Precinct**

DCP Section	Content
Part 2 Section 2.2 Specific Issues Relating to this Locality	Future development in the West Wallsend/Holmesville Heritage Precinct will need to consider: <ul style="list-style-type: none"> <li>• the strong sense of social identity, resulting from the area's history</li> <li>• the physical boundaries of the locality including the semi-rural bushland setting and separation from expanding suburban areas</li> <li>• development that is compact and in scale with surroundings, including medium density development around West Wallsend and Holmesville, that is sensitive to the heritage characteristics of the locality</li> <li>• business growth that will be based on unique local character and complements growing competition from larger district and regional centres</li> <li>• that business growth will be based on the area's strategic location, including proximity to major road transport links to Sydney and the Lower Hunter and North Coast Centres</li> <li>• the potential to create an industrial heritage precinct for Lake Macquarie</li> <li>• sensitive elements of the local topography and existing streetscapes.</li> </ul>
Part 2 Section 2.3 Context and Setting	Objectives: <ol style="list-style-type: none"> <li>a) to safeguard the heritage and cultural values of the West Wallsend and Holmesville Heritage Precincts</li> <li>b) to ensure that development complements the existing streetscape, local architectural style, decoration, and adornments</li> <li>c) to ensure that development does not detract from the significance of the dominant cultural and natural elements of the area.</li> </ol> Controls: <ol style="list-style-type: none"> <li>1) A detailed analysis of the streetscape and surrounding environment must accompany development proposals.</li> <li>2) Development proposals must incorporate bulk, form, scale and landscaping that is consistent with, and complements the historic development of the West Wallsend and Holmesville Heritage Precinct.</li> </ol>



DCP Section	Content
<p>Part 2 Section 2.4 Site Coverage</p>	<p>Objectives:</p> <ul style="list-style-type: none"> <li>a) to ensure the bulk and form of future development reflects the historic development of the West Wallsend and Holmesville Heritage Precinct</li> <li>b) to provide opportunities for the provision of landscaping and/or the enhancement of existing native vegetation</li> <li>c) to promote on-site stormwater infiltration by encouraging pervious surfaces and landscaped areas.</li> </ul> <hr/> <p>Controls:</p> <ul style="list-style-type: none"> <li>1) The maximum site coverage, including ancillary development, must not exceed 45%, unless it can be demonstrated that the proposal will not have a detrimental impact on the heritage values within the precinct.</li> </ul>



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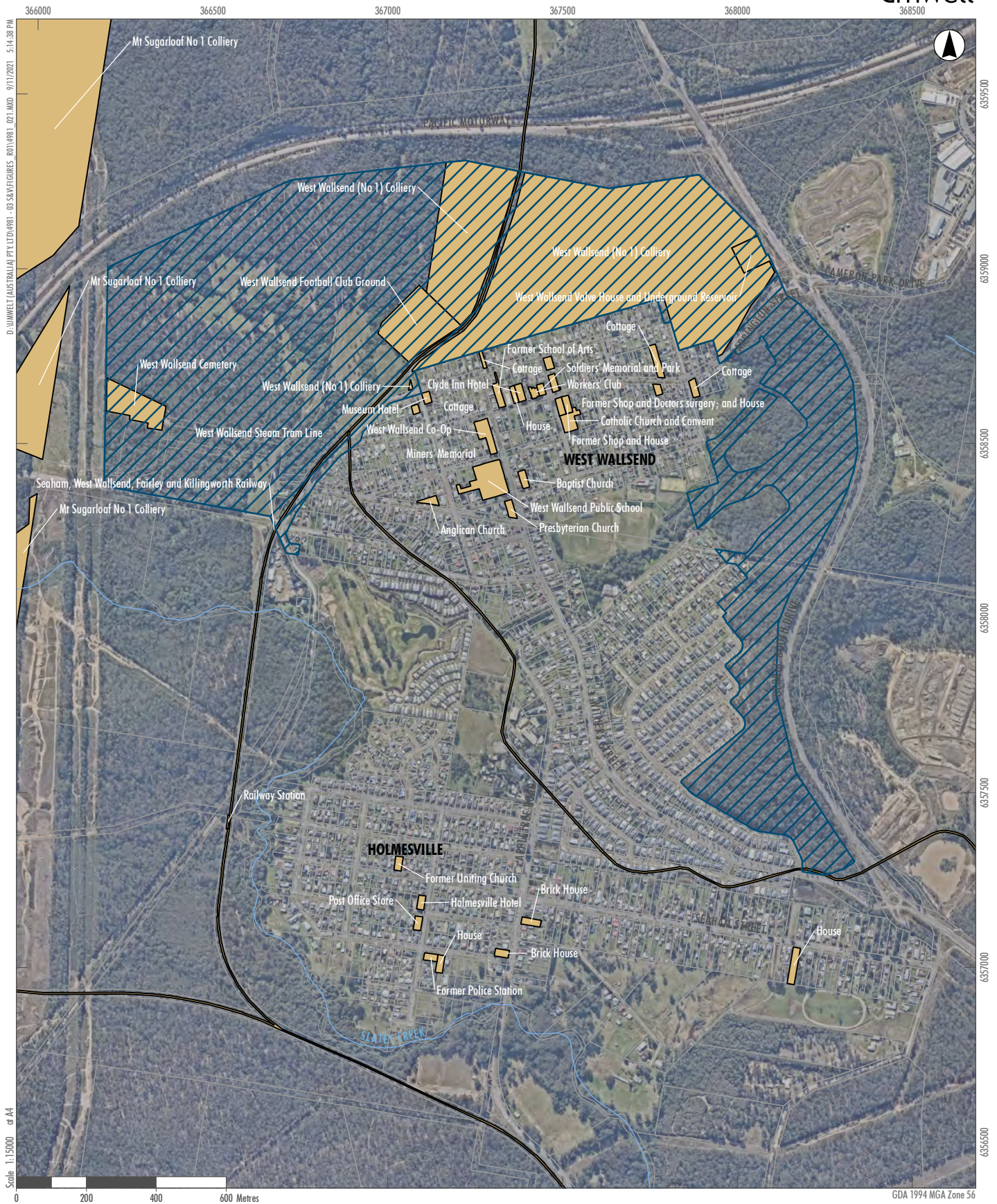
**Legend**

- West Wallsend/Holmesville Heritage Precinct
- West Wallsend Conservation Area

**FIGURE 2.1**

**Existing Boundaries of West Wallsend HCA and the West Wallsend/Holmesville Heritage Precinct**





**Legend**  
 Landscape Buffer Zone  
 Locally Listed Heritage Items

**FIGURE 2.2**

**Locally Listed Heritage Items in relation to West Wallsend and Holmesville**



## 2.4 Appletree Grove Estate – Background and Planning Context

In 2012, the Hunter and Central Coast Joint Regional Planning Panel (JRPP) approved the subdivision of Appletree Grove Estate (“Estate”) (DA/113/2011 - D09750419), adjacent to the existing township of West Wallsend. A condition of consent (Clause 4B. Building Design Guidelines) was to register a public positive covenant on the title of all lots, to require all dwellings within the estate to comply with Heritage and Urban Design Guidelines (HUDG). The HUDG were necessary to mitigate heritage and visual impacts.

Under the provisions of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (Codes SEPP), dwellings can be approved through the complying development process without regard to covenants that require compliance with specific development controls, such as the HUDG. Dwellings constructed in contravention of the public positive covenant would be inconsistent with the intent of the JRPP condition of consent (Clause 4.B) and potentially result in adverse heritage impacts.

The Department of Planning, Industry and Environment (DPIE) approved a temporary exclusion from Complying Development for the Estate under Clause 1.20 of the Codes SEPP, which expired on 30 November 2015. The temporary exclusion was granted to allow Council time to undertake the *West Wallsend and Holmesville Background Heritage study (2014)* (‘Heritage study’) to determine whether the Estate had merit to be included in the West Wallsend HCA, thereby excluding the subject land from complying development provisions in the Codes SEPP.

Council endorsed an amendment to LM LEP 2014 in 2015 to expand the West Wallsend HCA to encompass all stages of the Estate. Council resolved to adopt the HCA expansion proposal on 22 August 2016. The LEP amendment was gazetted on 16 September 2016 (Amendment No.18). The purpose of this was to:

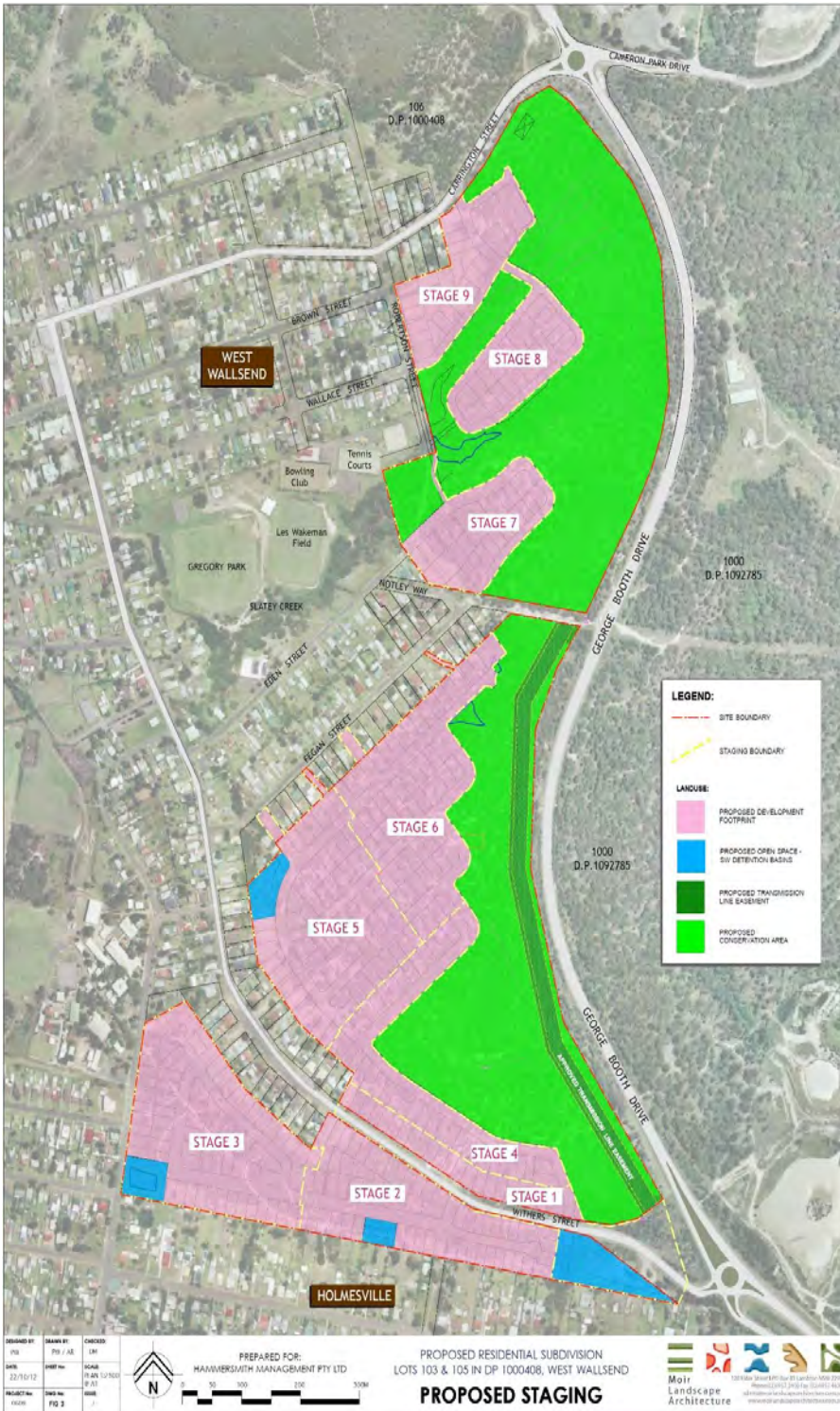
- render complying development inapplicable to the Estate
- be consistent with the JRPP condition of consent
- attempt to minimise heritage impacts to the West Wallsend HCA through controlling the aesthetic characteristics and presentation of development within the Estate.

Further, and in association with this, Council endorsed amendments to the LMDCP 2014 to incorporate objectives and controls outlined in the Estate HUDG into the West Wallsend and Holmesville Area Plan contained in Part 11 – Heritage Area Plans.

In April 2020, discussions were held with Umwelt and the West Wallsend HCA Working Group. These discussions considered the potential to exclude the Appletree Grove Estate from the revised HCA (the subject of this report) as the design guidelines under the HUDG did not strictly align with heritage values and curtilage assessment requirements. However, further investigation into the planning context has demonstrated that:

- Retaining the Estate as part of the HCA, which negates the applicability of complying development, allows Council a greater degree of input and control into new development in that area. Without this mechanism in place, complying development would apply, allowing a greater degree of development flexibility within the Estate. Over time, this flexibility may result in inappropriate and unsympathetic development that adversely affects the setting and visual character of the HCA.
- Retaining the Estate as part of the HCA would enable the ongoing approved intent of DA/113/2011, and JRPP condition of consent.

For these reasons, and based on multiple discussions with LMCC staff, this working report does not propose the removal of the Estate from the HCA, despite the building stock contained therein being of no identified heritage significance other than through the HUDG requirements to be sympathetic with the heritage values of the broader precinct area. Further, and to maintain the original intent of DA/113/2011 and the associated HUDG, no revisions are proposed to the LM DCP 2014 controls that apply specifically to development within the Estate.



**Plate 2.6 Overview of the boundaries of the Appletree Grove Estate**

Source: Moir Landscape Architects, 2012.

## 2.5 Balancing the Local and Regional Planning Context with Heritage Conservation

This report has identified all non-Aboriginal heritage values associated with West Wallsend and Holmesville, including the identification of contributory elements. It provides objectives and controls that are specifically intended to protect these identified heritage values, whilst providing direction for future development that enables the continued improvement and growth of the two townships.

It is acknowledged that components of this study are not directly consistent with regional planning documents/strategies/plans, particularly in terms of development density, vertical additions, and scale of development (height controls). In their current configuration, these documents/strategies/plans do not seek to protect or enhance the heritage significance of the existing West Wallsend HCA, as the predominant focus of these documents is on facilitating development and change.

In response to this, the revised DCP controls and LEP amendments presented in this report are intended to ensure that new development (including alterations and additions) within the HCA is undertaken in a way that protects, conserves and respects its identified heritage significance, and have been developed with consideration of the overarching planning context.

More intensive and higher density development can still occur within the HCA, provided that it is designed with regard for the heritage significance of the area, its streetscapes, and associated contributory elements. The proposed revisions and amendments predominately seek to limit the verticality of development/additions, but do not significantly limit horizontal development where this maintains the streetscape presentation of contributory elements and the impression of a predominant low scale of development from the public domain.

This can be achieved through locating additions to the rear of existing dwellings, utilising underlying topography where appropriate and considering lines of sight from the public domain (e.g., ensuring that multiple storey additions or new dwellings to the rear of existing dwellings are not visible from the public domain). Clear and detailed guidance in this regard is provided within the revised DCP controls.

## 2.6 Aboriginal Cultural Heritage and Archaeology

Heritage NSW is primarily responsible for regulating the management of Aboriginal cultural heritage in New South Wales under the *National Parks and Wildlife Act 1974* (NPW Act). The NPW Act is accompanied by the *National Parks and Wildlife Regulation 2019* (the Regulation) and a range of codes and guides including the *Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in NSW* (OEH 2011), the consultation requirements and the Code of Practice.

Cultural heritage value refers to the spiritual, traditional, historical or contemporary associations and attachments a place has for Aboriginal people (OEH 2011:8). There is not always a consensus about the cultural value of a place as people experience places and events differently. With regards to the Aboriginal cultural heritage of West Wallsend and Holmesville, it is noted that cultural significance can only be determined by Aboriginal people and is identified through Aboriginal community consultation.

Prior to European settlement of the region, the Lake Macquarie area was inhabited by the Awabakal people. The spatial distribution of Aboriginal archaeological sites within and around West Wallsend and Holmesville shows that sites are considerably more likely to be located within undeveloped and relatively undisturbed areas.

Only two recorded archaeological sites are located within the HCA, both of which are registered as scarred trees located within the footprint of the Appletree Grove Estate; these sites were recorded prior to the construction of the Estate. The absence of other sites within the HCA is likely to be due to the extent to which the area has been disturbed through industry and development.

In addition to the above, the Butterfly Cave is an Aboriginal place of high cultural significance located in the vicinity of West Wallsend. The Cave is a declared Aboriginal Place under the NPW Act. It is also a declared area under the *Aboriginal and Torres Strait Islander Heritage Protection Act 1984* (ATSIHP Act). The location of the Cave is culturally sensitive and is restricted for the cave's protection.

With regard to the Cave's cultural significance, the *Aboriginal and Torres Strait Islander Protection (Butterfly Cave, West Wallsend, NSW) Declaration 2019* states:

*Part II of the ATSIHP Act (Part II) provides for the protection of significant Aboriginal areas and objects. Under section 10 of the ATSIHP Act, the Minister may, by legislative instrument, make a declaration to preserve or protect a significant Aboriginal area that is under threat of injury or desecration.*

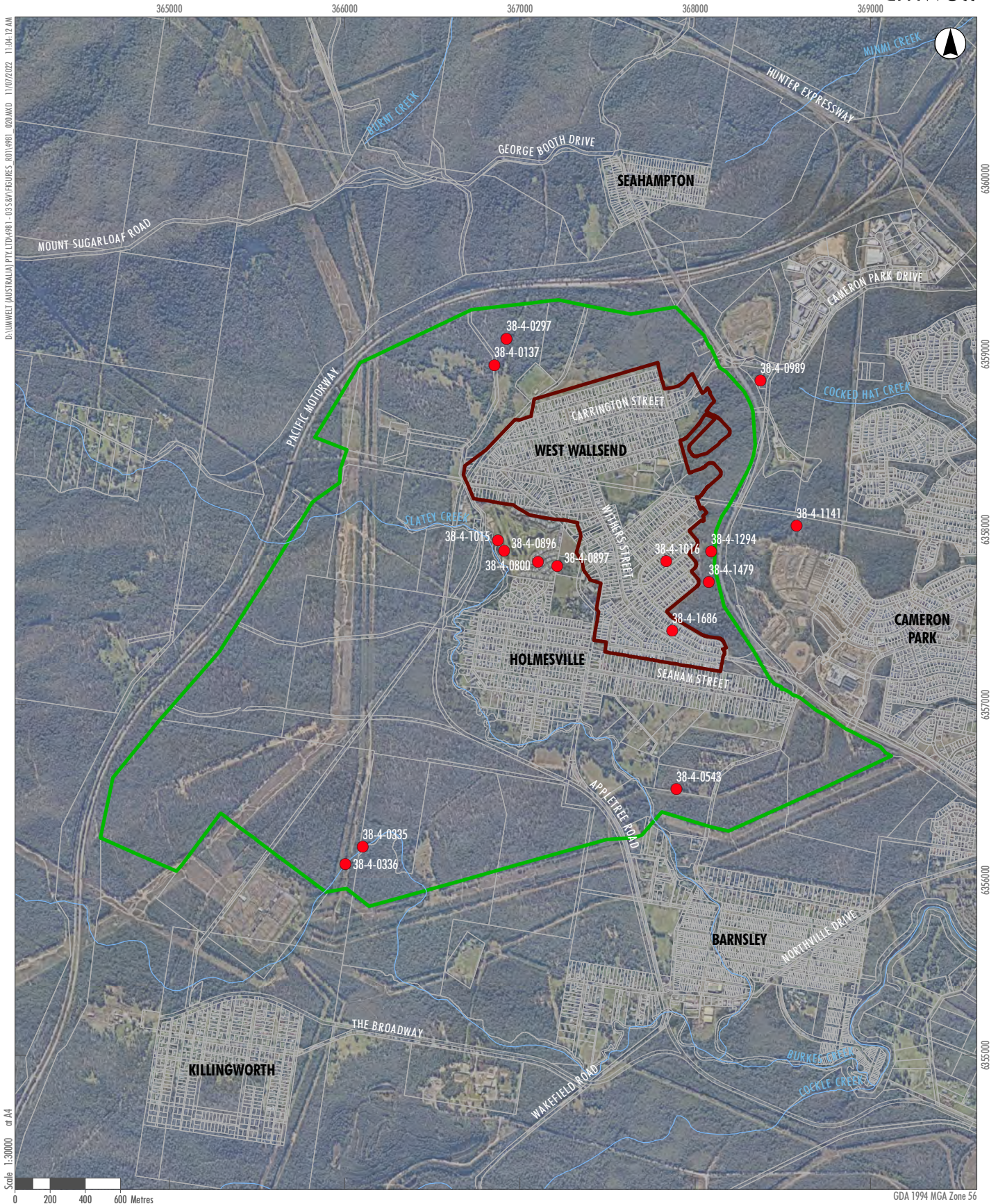
*The Aboriginal and Torres Strait Islander Heritage Protection (Butterfly Cave, West Wallsend, NSW) Declaration 2019 (the Declaration) is made under section 10 of the ATSIHP Act. The purpose of the Declaration is to preserve and protect Butterfly Cave, the surrounding native bushland, and the catchment and gully system which directly feeds into and drains from the Butterfly Cave that formed Butterfly Cave (the declared area) from injury or desecration.*

*Butterfly Cave and its surrounds are a significant Aboriginal area that is of particular significance to Awabakal women. The purpose of the Declaration is to protect the Butterfly Cave and its surrounds from threats of injury or desecration posed by development activities.*

An additional restricted site is registered within West Wallsend, though details regarding its location, type and condition are not available due to the cultural sensitivity of this information.

AHIMS sites registered in and around West Wallsend and Holmesville are shown in **Figure 2.3**.





- Legend**
- West Wallsend/Holmesville Heritage Precinct
  - West Wallsend Conservation Area
  - AHIMS Sites

FIGURE 2.3

**AHIMS Sites Registered in and around West Wallsend and Holmesville**



## 3.0 Historical Summary

To inform this study, a review of West Wallsend and Holmesville's history was undertaken. Below is a brief summary of this history as it appears on the Lake Macquarie History resource webpage and as authored in the *West Wallsend Heritage Management Strategy* (Umwelt, 2019). The content below has directly informed the assessment and statement of significance for West Wallsend and Holmesville presented in this study and has contributed to the development of objectives and controls within the revised DCP. It is noted that the below historical overview does not include information pertaining to Aboriginal cultural heritage, as noted in **Section 1.1** of this report.

### 3.1 West Wallsend

During the period 1863 to 1884, a total of 2,953 acres of land in the Parish of Teralba was bought or selected by a group of people in varying parcels at different times, and probably independently. These people formed the "Teralba Trust" and sold the land soon after to J.R.M. Robertson and R.B. Wallace, who passed it on to the West Wallsend Coal Co. Ltd. ('Company') a few days after the company was formed in 1885. The Company soon had a town surveyed close to the shaft they were sinking, with the mine to be known as West Wallsend Colliery No. 1.

The first subdivision was registered on 17 April 1886 (Deposited Plan 2252). All lots were a  $\frac{1}{4}$  acre with a 66 ft frontage; these blocks were large in comparison to those offered in Sydney, and very generous when compared to the miners' housing offered in Britain. The streets of West Wallsend were mostly named after directors and others associated with the Company, an exception being Renwick Street, named after a depression era doctor.



**Plate 3.1** 1923 Parish Map of Teralba, showing West Wallsend and Holmesville (and Joseph Holmes land)

Source: <https://www.flickr.com/photos/8571926@N06/6000242432>

At an auction on 12 August 1887, a number of lots were sold in what became the central business district of the town. The first coal was extracted early in 1888, and the official opening of the West Wallsend No. 1 Colliery on 4 July also marked the introduction of a passenger service on the new railway to the town. Another land sale was held on 23 July 1888. It was reported that "from 116 to 120 lots out of 200 were disposed of ... and with one or two exceptions, to single lot buyers". A second extended subdivision was registered 16 August 1888.



**Plate 3.2 1888 Township of West Wallsend Subdivision Plan**

Source: <https://www.flickr.com/photos/8571926@N06/5906837816>

By September 1888 the Company had a major strike and thought to solve it by hiring 80 labourers in Sydney to work the mine. Just 23 of the 80 men actually went to West Wallsend, arriving in a special train. The 23 men were protected by a police magistrate, a police inspector, 30 policemen, and an army lieutenant with 50 soldiers from the Newcastle force, complete with machine gun. The Company built a row of huts along the north side of Wilson Street, which was known locally as "Scab Row". These huts were soon demolished after the miners went back to work (apparently on their own conditions).

In 1895 the Caledonian Coal Co. took over the West Wallsend No. 1 Colliery, and before long the output and workforce had doubled. The town grew quickly, and by 1910, when the steam tram started, the town had about 6,000 inhabitants, two schools, a strong football club (soccer), a thriving Co-Operative Society ('Co-Op'), a cemetery, several townships (Mafeking, Ladysmith, Holmesville), the necessary churches, a School of Arts, a Masonic Institute, a grand Post Office, a Railway Station, a reticulated water supply from the Hunter system, and at least five hotels.



In 1911 there was an outdoor cinema, with an electric generator which supplied neighbouring businesses in Carrington Street with lighting. Not long after, the Caledonian Coal Co. supplied power to the whole town from generators at the mine.



**Plate 3.3 Plan of West Wallsend, unknown date (potentially c. 1915)**

Source: <https://www.flickr.com/photos/8571926@N06/5906254273>

The community thrived for many years and was able to weather the closure of the West Wallsend No. 1 Colliery in 1923; workers were able to gain employment at other local mines, or catch a tram to work elsewhere. At the time of its closure, 5,376,410 tons of coal had been extracted from the colliery over a relatively short period of operation, being 35 years.

In 1929, however, things became particularly difficult owing to the significant industrial action that occurred within coal mines across northern New South Wales. The 'mine lock-out' began on 1 March 1929 and continued for 14 months. By the time the lock-out ended, the Depression had started and work in the mines or any other work became scarce. By 1935, men of the town were glad to get Government work building roads. Many were sent south, but one gang built a "Golden Mile" of sandstone kerbing and guttering in Withers Street (now partially retained).

West Wallsend's streets were sealed in the 1960s, and the town was connected to a sewerage system in 1964 to 1965. In 1964 the Co-Op was wound up. Most of the Stores' buildings remained in use as individually operated shops and continue to reflect the important place in the community that the Co-Op had.

The late 1960s and early 1970s saw the decline of many regional centres as access to cars and better roads allowed people to more easily travel to major commercial centres. West Wallsend was no exception to this and as a 1972 council report put it:

*'This centre is the archetype of a once prosperous but now derelict centre. The decline of local population and the vastly increased mobility of shoppers have caused a rapid decline in the last few decades.'*

However, this period of stagnation meant that much of the environment and architecture of its most prosperous period was preserved. By the early twenty first century, West Wallsend's semi-rural setting and its impressive collection of late-nineteenth and early twentieth century commercial and community buildings were recognised as exceptional in the region.

## 3.2 Holmesville

Holmesville was named after Joseph Holmes, who was an early European settler and landholder in the area. One of the most important early land grants in the area was Portion 49 (Teralba Parish), a 100-acre parcel of land that was granted to Holmes in February 1895. Portion 49 was located west of Apple Tree Road (formerly known as Minmi Road). In 1898, Holmes subdivided 10 acres of his grant into 250 allotments, which were then sold at 20 pounds each (10-pound deposit plus 8% interest on quarterly balance).

Holmes and his wife Mary, although not among the very earliest European settlers of the area, were important to the town's development and are important to the town's history. The Holmes family settled on 10 acres at 'Holy Flat', Estelville (now known as Cameron Park). The family kept a dairy and supplied Minmi with milk, and Joseph also worked in the mines. It is believed that he and his son Samuel introduced a method for top-holing and firing coal to Seaham No. 1 Colliery. In addition to this, the Holmes family also derived an income from their land and building dealings.

Early industries in Holmesville included farming and coal mining. The first post office was opened in 1914 and was known as 'Estelville Post Office' until 1968. A private railway ran to Holmesville from a junction at Cockle Creek, and serviced the collieries of Seaham No. 1 and 2, in addition to some at West Wallsend.

Town development really began after Holmes' 1898 subdivision. Prior to this time, the township's growth was largely dependent upon the coal mining industry. After 1910, a number of families left the area to seek employment in association with more prosperous mines, including those opened in the South Maitland Coal Fields.

Other notable historical events for the suburb include:

- the first Congregational Church was built in 1903
- around 1905 the Browne family opened a general store
- in the 1920s, 'Fischo Jack' Richardson kept a shop at Holmesville and ran a picture show (potentially in Carrington Street). Richardson's Studebaker was the first car in the town
- the water supply was established in 1902.





**Plate 3.4 Plan of Holmesville, 1915**

Source: <https://www.flickr.com/photos/8571926@N06/5854308685>

### 3.3 Historical Chronology of West Wallsend and Holmesville

Below is a brief historical chronology of the two townships.

#### Pre-Colliery

- 1798 Awaba (Lake Macquarie) first entered by European ship
- 1829 Grant of 2,500 acres to Captain James Ranclaud at Teralba
- 1861 Small selections made in West Wallsend area
- 1860–1884 Scattered small farms and orchards (“Teralba Trust”)
- 1885 West Wallsend Mining Company Ltd. purchases land

#### Mining Period

- 1888 Mining company subdivision and land sales and opening of the West Wallsend Colliery No. 1
- 1889 Public School opened
- 1891 West Wallsend Co-Op founded
- 1894 Floods destroy orchards of Joseph Holmes
- 1895 School of Arts established and Caledonian Coal Co. takes over the West Wallsend Colliery No. 1
- 1901 West Wallsend connected to water supply
- 1904 Catholic Church built
- 1910 Steam tram line opened
- 1923 West Wallsend No. 1 Colliery closes
- 1929 Industrial action across northern New South Wales mines resulting in the ‘mine lock-out’
- 1930s The Great Depression and impacts to local economy
- 1930 Steam tram closed
- 1945 Closure of last local mine

#### Working Further Afield

- 1964 West Wallsend Co-Op merges with Newcastle Co-Op
- 1964 West Wallsend High School opens
- 1970 Sugarloaf Reserve established
- 1981 West Wallsend Co-Op closes

#### Lessening isolation

- 1985 West Wallsend High School and Community Museum established
- 1989 Earthquake destroys several buildings
- 1992 First two-storey housing development in West Wallsend
- 1993 First major heritage study of the Lake Macquarie LGA
- 2011 New residential development, ‘Appletree Grove’, approved
- 2013 ‘Butterfly Cave’ formally declared an Aboriginal Place under *National Parks and Wildlife Act 1974*

## 4.0 Visual Inspection and Contribution Gradings

Multiple site visits to the West Wallsend HCA and the West Wallsend/Holmesville Heritage Precinct were undertaken by Karyn Virgin, Senior Consultant (Umwelt) and Alison Fenwick, Consultant (Umwelt) throughout July to October 2020.

The visual inspections of the HCA and Heritage Precinct were undertaken via vehicle and on foot. No access onto properties or into buildings was organised for the visual inspection, with all inspections undertaken externally from the public domain (i.e., from the footpath areas/road reserves).

### Wider Study Area

Prior to undertaking the visual inspections, an overarching study area (the 'Wider study Area') was determined. For the purpose of this working report, and to ensure completeness, the Wider Study Area boundaries are synonymous with the current Heritage Precinct boundaries. The replication of the Heritage Precinct boundaries was considered relevant as:

- they represent the spatial extent of the previously identified area of heritage significance
- they encompass the entirety of the townships of Holmesville and West Wallsend
- they encompass the entirety of the existing HCA
- they include locally listed heritage items not encompassed by the current HCA boundaries.

To determine if the entirety of the Wider Study Area warranted detailed visual inspection and associated contribution grading analysis and mapping, a high-level visual inspection of the area was undertaken. Based on the outcomes of this inspection, a 'Core Study Area' was identified. The boundaries of both the Wider Study Area and Core Study Area are shown in **Figure 4.1** for reference.

### Core Study Area

As outlined above, a Core Study Area was identified based on the outcomes of a high-level visual inspection of the Wider Study Area. This high-level inspection demonstrated that some portions of the Wider Study Area did not warrant detailed visual inspection (and associated contributory analysis and mapping). This was, predominantly based on the absence of contributory buildings (for a definition of contributory buildings, refer to **Section 4.1.1**). For example, no contributory buildings were identified on the northern side of Elizabeth Street, Holmesville, nor were any contributory buildings identified within Tanunda Close, Coomalong Close, Buni Street or Joalah Close, Holmesville.

Similarly, the Appletree Grove Estate was not considered to warrant detailed visual inspection, as all dwellings contained therein are contemporary, date from a single development event, and do not have any identified heritage significance. However, for the reasons outlined at **Section 2.4**, the entirety of the Appletree Grove Estate has been included within the Core Study Area.



The Core Study Area discussed throughout the remainder of this report and shown in **Figure 4.1** was therefore identified based on:

- the presence/absence of contributory buildings (as outlined above)
- the presence/absence of listed heritage items, whether they contain contributory buildings or not (e.g. parks)
- the potential that the inclusion of particular parcels of land located on the periphery of West Wallsend and Holmesville would enable the conservation and protection of the wider settings of these townships, including views and vistas to and from them.

Within the Core Study Area shown **Figure 4.1**, every individual property was inspected, photographed and graded (refer to definitions below).

The exception to this was dwellings within the Appletree Grove Estate. These dwellings were not subject to contribution grading as they are subject to existing and specified DCP controls that are not proposed to be revised as part of this study. The dwellings in the Estate are highly consistent in terms of both period of construction and aesthetic characteristics (including bulk, scale and materiality), and the boundaries of the Estate are clearly mapped and readily available.

Due to their consistency, the reasoning behind their inclusion in the HCA (refer to **Section 2.4**), and the existence of specific DCP controls that have not been revised as part of this study, the dwellings within the Appletree Grove Estate were not subject to detailed recording; inventory sheets have not been developed for these properties.

Despite this, the entirety of the Estate was subject to visual inspection to confirm that none of the dwellings contained therein are of heritage significance. This was confirmed by the visual assessment. Dwellings within the Apple Tree Grove Estate are not considered further in this study.

All field data was recorded on ArcCollector and converted into mapping by Umwelt's Spatial & Visualisation Services.

#### **4.1.1 Contribution Grading Classifications**

Within the Core Study Area shown in **Figure 4.1**, and with the exception of the Appletree Grove Estate, every individual property was inspected, photographed and graded as either:

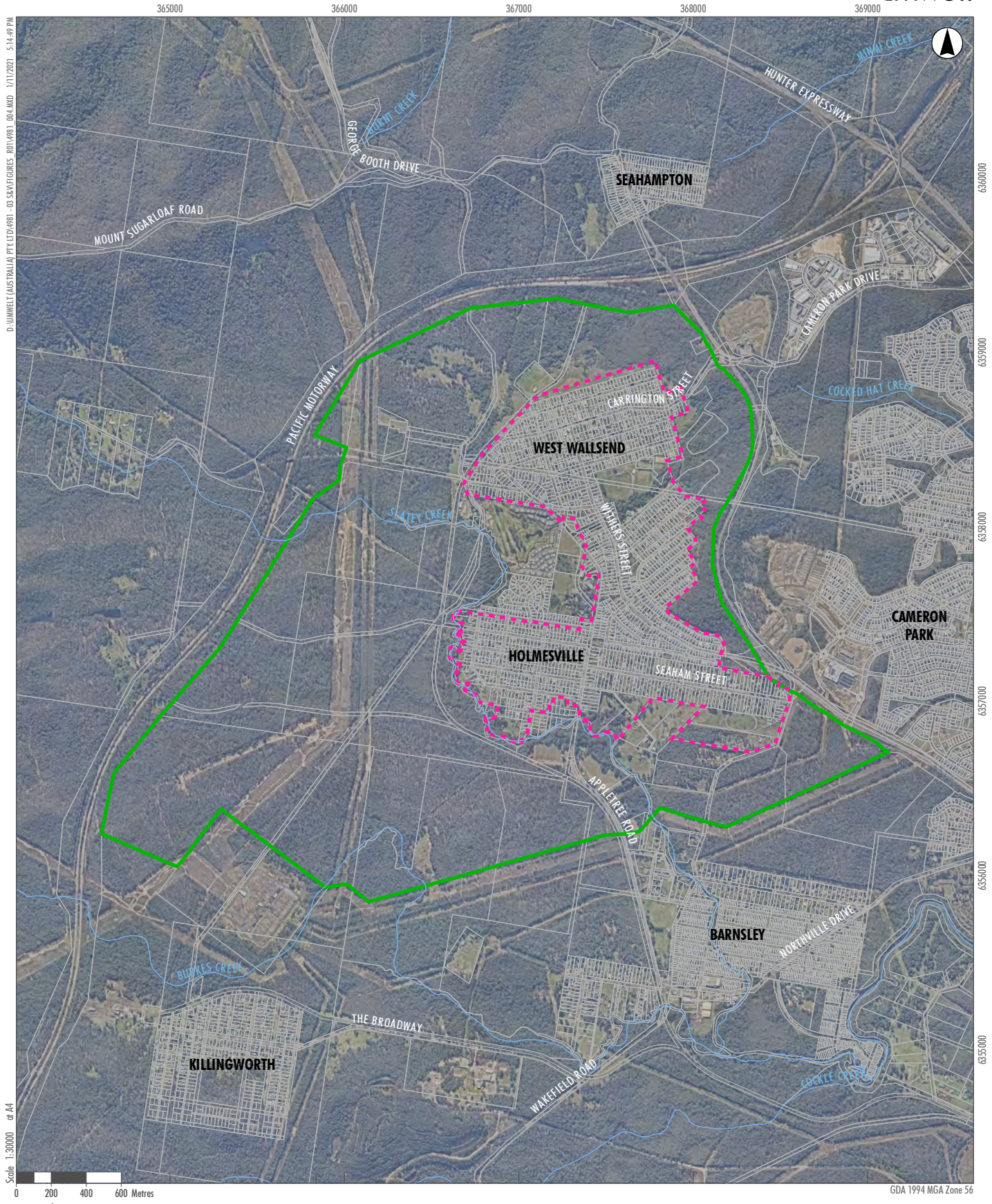
- Contributory 1
- Contributory 2
- Non-Contributory
- Not assessed.

These contribution gradings were adopted based on gradings developed and implemented by LMCC for previous projects, including Catherine Hill Bay and Teralba. In terms of classification, the most widely used definitions of each grading are outlined in **Table 4.1**.

**Table 4.1 Contribution gradings used in preparation of this study**

Grading	Definition
<b>Contributory 1</b>	<p>Contributory 1 buildings are buildings that make an important and significant contribution to the character of the heritage conservation area or heritage streetscape. They have a reasonable to high degree of integrity and date from a key development period of significance. They are defined as buildings which are from a:</p> <ul style="list-style-type: none"> <li>(i) significant historical period layer, highly or substantially intact; or</li> <li>(ii) significant historical period layer, altered yet recognisable and reversible.</li> </ul>
<b>Contributory 2</b>	<p>Contributory 2 buildings are buildings that do not detract from the significant character of the heritage conservation area or heritage streetscape. Buildings that do not belong to a key period of significance, good contemporary infill, and development from a key period of significance which has been irreversibly altered, are identified as Contributory 2.</p> <p>They are defined as buildings which are from a:</p> <ul style="list-style-type: none"> <li>(i) significant historical period layer, altered in form, unlikely to be reversed;</li> <li>(ii) new sympathetic layer or representative of a new layer; or</li> <li>(iii) non-significant historical period layer.</li> </ul>
<b>Non-Contributory</b>	<p>Non-Contributory buildings are buildings that are intrusive to a heritage conservation area or heritage streetscape because of inappropriate scale, bulk, setbacks, setting or materials. They do not represent a key period of significance and detract from the character of a heritage conservation area or heritage streetscape. They are defined as buildings which are:</p> <ul style="list-style-type: none"> <li>(i) new detracting development; or</li> <li>(ii) other detracting development.</li> </ul>
<b>Not Assessed</b>	<p>‘Not assessed’ refers to properties/buildings that were not able to be subject to visual inspection. This may have been due to a property owner (if approached at the time of inspection) refusing access, the property generally not being accessible (being located down a lengthy private driveway), or a property/building being almost completed obscured by vegetation.</p>





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**Legend**

- Core Study Area
- Wider Study Area (West Wallsend/Holmesville Heritage Precinct)

**FIGURE 4.1**

**Core Study Area and Wider Study Area**



## 4.2 Analysis of Results

The contribution gradings of individual properties is shown in **Figure 4.2**. As demonstrated in this figure, there are relatively clearly defined clusters of contributory properties located in the following areas:

- along Wilson, Carrington, Withers, Wallace and Brown Streets in West Wallsend
- concentrated within the principal commercial axis of West Wallsend, as defined by the intersection of Carrington and Withers Streets
- concentrated within the principal commercial axis of Holmesville, as defined by the intersection of George and Charlotte Streets
- along the southern side of Seaham Street, Holmesville.

The distribution of contribution gradings across the Core Study Area are considered below in relation to the townships within which they are located.

### West Wallsend

Within the township of West Wallsend, there were clear clusters of contributory buildings in a number of locations. In some instances, including along Wilson Street, Carrington Street and Withers Street, these 'clusters' spanned the majority of the streetscapes. Contributory 1 buildings were identified throughout the entirety of West Wallsend, though there was a noted absence of Contributory 1 buildings at the southern end of Withers Street.

In terms of residential development, West Wallsend has retained a high level of integrity, with many of the streetscapes displaying a high degree of consistency in terms of scale, materiality, architectural style and period. This includes Wilson, Carrington and Withers Streets mentioned above, but also Wallace Street, Brown Street, and Hyndes Street.

Less consistency was observed within Laidley Street, Bridge Street, Fegan Street and Edden Street, among others. Within these streetscapes, a number of later (mid-20<sup>th</sup> century onwards) dwellings are present. These later dwellings have interrupted the rhythm of these streetscapes through the introduction of unsympathetic and inappropriate materials and design elements, including brick construction, alternate, non-traditional roof forms, two-storey construction, inconsistent verandahs, etc. It is noted that streetscapes/areas with less integrity tend to be located on the fringes or periphery of West Wallsend and appear to be representative of a trend where the integrity of building stock declines as the distance between the building stock and the principal commercial axis of the township increases. This is particularly evident in the absence of Contributory 1 buildings within the southern extent of Withers Street. Within West Wallsend, the principal commercial axis is defined as Withers and Carrington Streets, including their intersection (refer below).

With regards to commercial development, the principal commercial axis of West Wallsend (as defined above) has retained a high degree of integrity, with a high number of Contributory 1 buildings being present in this area. The relative consistency of scale within the axis (with the majority of buildings being two storeys or more in height) contributes to a sense of visual and aesthetic prominence, which in turn emphasises the previously established heritage significance of this discrete area. This is supported by the outcomes of the views analysis (refer to **Section 5.1**). The level of integrity seen within the commercial area may be a result of many of the buildings being subject to individual local heritage listings but may also reflect the social significance of the area and the regard with which it is held by the local community.

As anticipated, none of the dwellings located within the Appletree Grove Estate were graded as Contributory 1 or Contributory 2. All dwellings within the Estate have been graded as Not Assessed, with this grading being a reflection of the negative impact these dwellings have had on the setting and overall aesthetic significance of the current HCA, as well as the use of inappropriate materials (such as brick) and unsympathetic design elements in their construction.

### **Holmesville**

Within Holmesville, there is a relatively clear cluster of Contributory 1 buildings concentrated around the intersection of Charlotte and George Streets, and along George Street more broadly (on both the northern and southern sides). Throughout the remainder of the township, the presence of Contributory 1 buildings is generally sporadic. The relative number of Non-Contributory buildings is low, which is representative of the overall consistency that has been maintained in the township with regards to the scale, materiality and general aesthetic character of development.

A higher number of Contributory 1 buildings were identified on the southern side of Seaham Street, where a number of early (early 1900s) miners' cottage style housing remains present and relatively intact. The northern side of Seaham Street has considerably less integrity. Again, relatively low numbers of Non-Contributory buildings were identified along Seaham Street.

Periphery lots, particularly to the south and southeast of Holmesville, were generally identified as either Contributory 2 or Non-Contributory. These lots, which comprise either vacant land or larger rural-style lots, are generally spatially and visually removed from the higher-density residential areas of Holmesville, and do not contribute strongly to Holmesville's sense of place.

However, the presence of these allotments does contribute to the maintenance of the place's setting, which is in part defined by its rural character and relative isolation. Those properties along Appletree Road directly contribute to significant views upon entry to and exit from Holmesville, travelling both north and south. It is also noted that the former home of Samuel Holmes, located at 6 Private Lane, Holmesville, is located within one of these periphery rural allotments; this dwelling has previously been proposed for individual heritage listing (refer to **Section 7.1**) and has been graded as a Contributory 1 building as part of this assessment (refer to **Figure 4.2** and **Appendix 1**).





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- Legend**
- Core Study Area
  - Level of Heritage Significance Grading**
  - Contributory 1
  - Contributory 2
  - Non-Contributory
  - Not Assessed
  - Locally Listed Heritage Item

**FIGURE 4.2**  
Contributory gradings across the Core Study Area



## 5.0 Views and Landscape Analysis

As part of the scope of works compiled by LMCC for this project, it was requested that a views analysis be undertaken. The purpose of a views analysis is to identify significant views and vistas within, to and from the HCA and Heritage Precinct that contribute to the area's sense of place and overall heritage significance. The results of the views analysis contribute significantly to the development of the revised HCA boundaries and the associated revised DCP objectives and controls.

As part of the visual inspection described above, significant views were identified, captured and mapped. The below figures provide an overview of significant views that are located within the Core Study Area. Photographs demonstrating these views have been included within the figures for reference.

### 5.1 Analysis of Results

#### 5.1.1 Landscape Setting

With the exception of the Appletree Grove Estate, the landscape setting of West Wallsend and Holmesville has been subject to minimal change over time. This shared setting, which is defined by the presence of the Sugarloaf Range to the west/northwest and bushland in all directions, is relatively unique within the wider Lake Macquarie LGA, and contributes strongly to the HCA's sense of place and aesthetic distinctiveness.

Development within both townships responds to and reflects the underlying topography, which is variable across the HCA. The commercial precincts of both townships are situated within relatively elevated areas, and this siting emphasises the architectural prominence of significant commercial and/or community buildings, which are typically of a larger scale than the surrounding low-scale residential development.

In addition to the above, the presence of remnant vegetation around the periphery of the townships contributes strongly to their shared setting and reinforces their character as relatively isolated townships developed between Lake Macquarie to the south east, Newcastle CBD to the east, and elevated areas less suitable for residential development to the west.

#### 5.1.2 Views

Within both Holmesville and West Wallsend, significant views have been identified in association with:

- the key commercial axis of each township
- entry points to each township
- relatively intact streetscapes within each township.

All of these views, which are shown in **Figure 5.1**, are located along streetscapes, and are relatively confined in terms of their visual reach. These views have been identified as significant based on their:

- ability to reflect the more intact portions of the townships
- inclusion of properties of contributory significance
- ability to convey a sense of the Core Study Area's layout, character and scale.



The presence of these views is somewhat dependent on the highly consistent scale and character of development that has been maintained within both townships. Views that remain available today are likely to reflect views to, from and within the townships that have been available since their subdivision and initial development in the late 1800s/early 1900s, despite later infill development having been introduced within all streetscapes (to varying degrees). This is due to:

- The relative absence of highly disruptive development in the form of multi-storey dwellings, medium to high density residential buildings (such as apartment buildings, townhouses and the like), and large-scale commercial buildings.
- The general maintenance of relatively consistent roof forms and design features across residential building stock.
- The maintenance of a highly consistent single-storey scale of development within residential areas.
- The maintenance of relatively consistent front setbacks across the majority of streetscapes.

### 5.1.3 Vistas

A number of significant vistas have also been identified throughout both townships. These vistas have predominately been identified in association with:

- distant views of the setting of both townships, which are defined by the Sugarloaf Range to the west/northwest and bushland in all directions
- elevated views of Holmesville from elevated portions of West Wallsend
- elevated views of the West Wallsend principal commercial axis upon entry to the suburb from both the south and east.

These distant views or vistas, which are shown in **Figure 5.2** have been identified as significant as:

- They provide vantage points from which large portions of the building stock of Holmesville and West Wallsend are visible within single view-lines.
- They provide distant views of highly significant buildings within both townships (including the ‘Holmesville Hotel’, the West Wallsend ‘former School of Arts’ Building, and the ‘West Wallsend Co-Op’ buildings), which allow the scale and prominence of these buildings to be appreciated.
- They enable the topography and spatial span of the townships to be appreciated, and provide a visual understanding of both West Wallsend and Holmesville’s development in relation to the landscape.
- Although the two townships are not both visible within a single view line, the vistas identified as part of this assessment, when considered collectively, enable the spatial relationship between the two townships to be better understood.
- They capture the setting of both townships, which contribute strongly to their aesthetic presentation and identified heritage significance (refer to **Section 6.2**).

Significant vistas are available throughout the majority of both townships as a result of their aesthetically distinctive setting, which is broadly visible throughout both townships and particularly within views to the west, northwest and north. Generally, identified vistas are more readily available from more elevated areas within each suburb, though it is noted that the scale and prominence of the Sugarloaf Range means that it has a relatively high degree of visibility, even from less elevated areas.

The outcomes of the view analysis strongly support the established significance of the shared setting of West Wallsend and Holmesville, as defined by the Sugarloaf Range and surrounding bushland. This shared setting contributes strongly to sense of place for both townships and is a defining element in the aesthetic significance of both townships.

It is also emphasised that this visual and scenic significance be a key consideration during any future comprehensive assessment for the Lower Hunter Freight Bypass Corridor, and any adverse impact is satisfactorily mitigated.



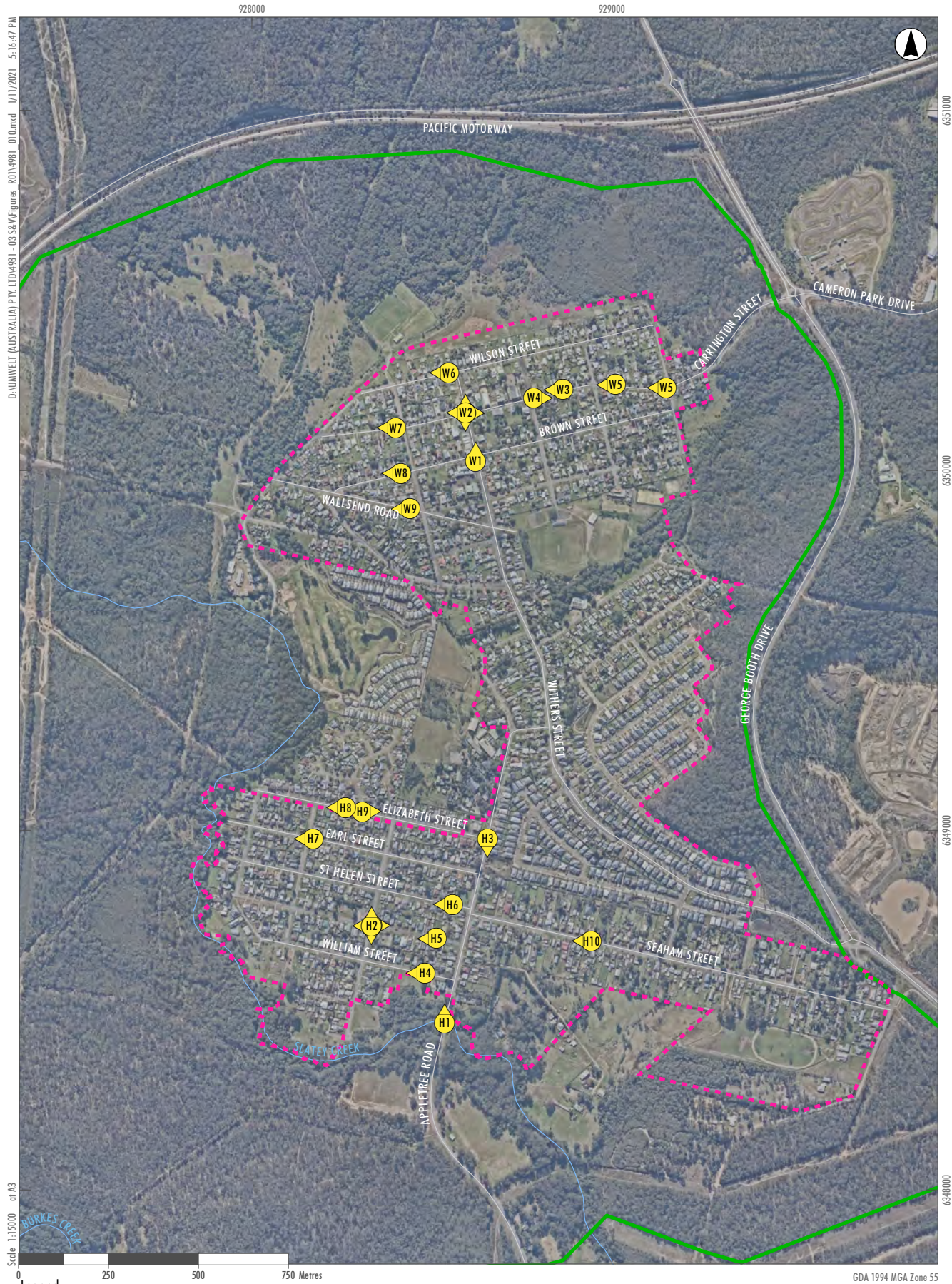


FIGURE 5.1A  
Significant Views

- Legend
- - - Core Study Area
  - West Wallsend/Holmesville Heritage Precinct
  - ◆ Significant View



View H1 - View north into Holmesville along Appletree Road



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H3 - View south into Holmesville along Appletree Road axis



View H4 - View west along William Street showing streetscape and the Sugarloaf Range beyond



View H5 - View west along George Street showing streetscape and the Sugarloaf Range beyond





View H6 - View west along St Helen Street showing the streetscape and the Sugarloaf Range beyond



View H7 - View west along Earl Street showing the streetscape and the Sugarloaf Range beyond



View H8 - View west along Elizabeth Street showing the streetscape and the Sugarloaf Range beyond



View H9 - View east along Elizabeth Street showing the bushland setting, comprised by the Appletree Grove Estate



View H10 - Views west along Seaham Street showing the streetscape and the Sugarloaf Range beyond



View W1 - Views north along Withers Street into the commercial precinct



View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)



View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)



View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)



View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)



View W3 - Views west along Carrington Street into the commercial precinct



View W4 - View east along Carrington Street, showing streetscape



View W5 - Views west along Carrington Street showing the streetscape and the Sugarloaf Range in the distance



View W5 - Views west along Carrington Street showing the streetscape and the Sugarloaf Range in the distance



View W6 - View west along Wilson Street, showing the streetscape and the Sugarloaf Range beyond



View W7 - View west along Carrington Street, showing the streetscape and the Sugarloaf Range beyond



View W8 - View west along Brown Street, showing the streetscape and the Sugarloaf Range beyond

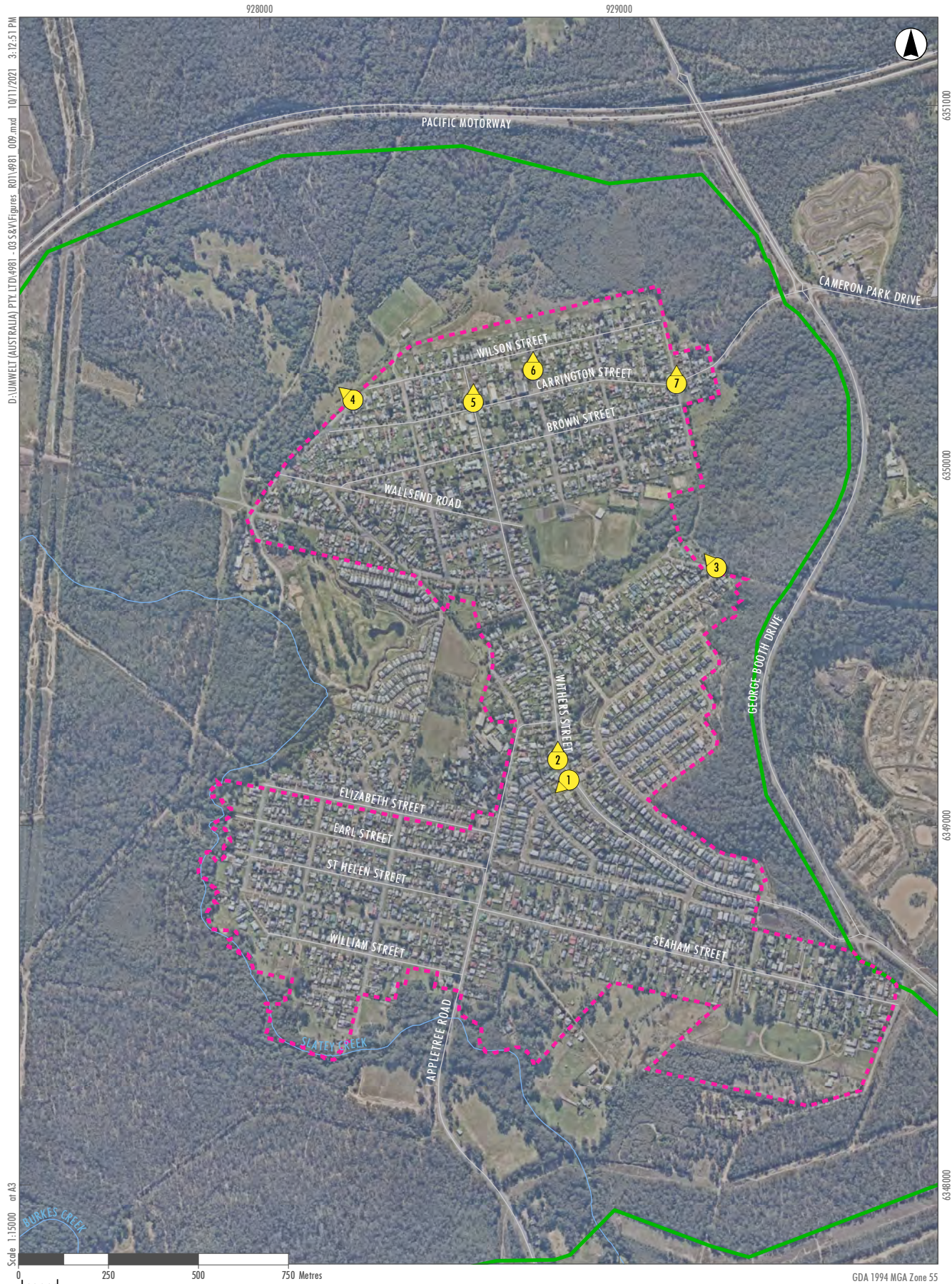


View W9 - View west along Wallsend Road, showing the streetscape and the Sugarloaf Range beyond

FIGURE 5.1B

Significant Views





**FIGURE 5.2**  
Significant Vistas

Scale 1:15000 at A3  
 Legend  
 Core Study Area  
 West Wallsend/Holmesville Heritage Precinct  
 Vista



Vista 1 - Vista of Holmesville (including the commercial precinct) from the intersection of Withers Street and Tramway Drive, facing southwest



Vista 2 - Vista of West Wallsend, facing north along Withers Street and showing the commercial precinct



Vista 3 - Vista from the intersection of Fegan Street and Notley Way, facing northwest over West Wallsend and showing the Sugarloaf Range in distance



Vista 4 - Vista from Wilson Street facing northwest towards the Sugarloaf Range



Vista 5 - Vista from Wilson Street facing north towards the Sugarloaf Range



Vista 6 - Vista from Wilson Street facing north towards the Sugarloaf Range



Vista 7 - Vista from Wilson Street facing north towards the Sugarloaf Range



## 6.0 Statement of Significance

The scope of works outlined by LMCC included the preparation of a revised statement of significance for the HCA. At present, two statements of significance are available for the area; one for the West Wallsend HCA defined in the LMLEP 2014, and one for the West Wallsend/Holmesville Heritage Precinct defined in the DCP 2014.

### 6.1 Current Statement(s) of Significance

The current statement of significance for the West Wallsend HCA, as it appears on the State heritage inventory (SHI) citation for the conservation area, is as follows:

*“West Wallsend typifies the way the establishment and growth of towns, population and commerce in the Hunter were all closely linked to the growth of the coal mining industry.*

*It is an archetype of a 19<sup>th</sup> century mining town, planned and developed by a mining company to house its own miners, in an area otherwise too remote to attract miners.*

*It was a successful mining town, large enough to support many commercial and community services, and becoming the centre for other villages in the district.*

*It still retains its vitality as a town and its role as district centre, 68 years after its Colliery closed.*

*Despite isolated intrusions of modern buildings, West Wallsend has retained its original style of a prosperous mining town, with rows of simple steep-roofed miners' cottages, interspersed with a few grander community buildings.”<sup>3</sup>*

The current statement of significance (which is framed as a statement of ‘History and Existing Character’) for the West Wallsend/Holmesville Heritage Precinct, as it appears in the LMDCP 2014 (Part 11, Revision 23, Adopted 27 April 2020), is as follows:

*“West Wallsend is a good example of a Nineteenth Century mining town. It was planned and developed by the mining company, West Wallsend Coal Company, to house its own workers. It was large enough to support many commercial and community services, and was a centre for smaller villages in the district. It retains its vitality as a town, and its role as a district centre, despite the colliery closing in 1923.*

*Holmesville is an extension of West Wallsend, created by the private subdivision of land owned by Joseph Holmes. It owes its existence to the same mining activity, but was not a direct creation of the same mining company.*

*West Wallsend and Holmesville are representative of the establishment and growth of towns, population and commerce in the Hunter Region. They are typical of those settlements closely linked to the fortunes of the coal mining industry. Although some modern and unsympathetic development has occurred, West Wallsend/Holmesville is regarded as the best preserved of all the early settlements in Lake Macquarie City.*

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<sup>3</sup> <https://apps.environment.nsw.gov.au/dpcheritageapp/ViewHeritageItemDetails.aspx?ID=1910568>

*West Wallsend's simple steep-roofed miners' cottages of symmetrical Georgian design with picket fence and grand main street buildings are a continuing reminder of the town's origins and early prosperity. Holmesville also retains many older cottages and a few individual buildings of importance, such as the town's impressive hotel. The areas include several good examples of late Nineteenth Century and early Twentieth Century dwellings, as well as examples from the Inter-War period. There are also numerous examples of more vernacular building types.*

*West Wallsend has a basic grid street pattern, with the main street following a ridge for the majority of its length. The town's built form is visible from a number of external vantage points, particularly the elevated slopes to the east. The town enjoys a magnificent setting, with views to the mountains from almost every part. The northern approach is particularly notable, descending from a high point with a clear transition from rural to urban. Both commercial and residential buildings within the town form good streetscapes. West Wallsend's main street has heritage interest in its own right. Being a prosperous early settlement in Lake Macquarie, the town retains the City's best examples of original grand late Nineteenth and early Twentieth Century commercial and community buildings.*

*Holmesville has more of a free-form street structure, though based on a modified grid. The topography is flatter, but the town also enjoys views to the mountains in the west.”<sup>4</sup>*

## 6.2 Revised Statement of Significance

Based on the background research undertaken to date, as well as the results of the visual inspection, the following revised and consolidated statement of significance for the proposed 'West Wallsend and Holmesville Heritage Conservation Area' has been prepared. This revised statement of significance is based on the assessment of significance presented in **Table 6.1**. This statement better reflects the proposed amended HCA boundaries (refer to **Section 7.2**).

### 6.2.1 Assessment of Significance

**Table 6.1 Assessment of significance for the West Wallsend HCA**

Criteria	Assessment
<b>A – Historical Significance</b> An item is important in the course or pattern of the local area's cultural or natural history.	Both West Wallsend and Holmesville were established in response to the commencement of mining operations in the local area, including those of the West Wallsend Coal Company and the Monkwearmouth Coal Company. The two townships have a distinct historical relationship and are collectively demonstrative of the pattern of European settlement and development that occurred in response to the growth of the mining industry in the area. Collectively, West Wallsend and Holmesville provide a relatively intact and highly significant example of interrelated late nineteenth and early twentieth century residential and commercial development within the Lake Macquarie LGA.

<sup>4</sup> <https://www.lakemac.com.au/files/assets/public/hprim/land-use-and-planning-planning-development-control-plans-dcp-lake-macquarie-development-control-plan-dcp-2014-revision-23-standard-remedial-action-plans/dcp-2014-revision-23-standard-remedial-action-plans-adopted-documents/dcp-2014-revision-23-part-11-area-plans-west-wallsend-holmesville-precinct-adopted-27-april-2020.pdf>

Criteria	Assessment
	<p>The township of West Wallsend is a good and largely intact example of a late nineteenth century mining town, which was specifically planned and developed by the West Wallsend Coal Company to house its workers. The township was large enough to support many commercial and community services and acted as a centre for smaller villages in the district. One of these villages, Holmesville, was similarly established in response to housing demands associated with local mining operations; land to the west of Appletree Road was subdivided and sold from 1898 onwards, while that to the east (predominately comprising Seaham Street) was subdivided and developed from 1905 onwards. Both West Wallsend and Holmesville are representative of the historical phases in which they were developed, but also of the increasingly common interaction that occurs between historical townships and contemporary development pressures.</p>
<p><b>B – Associative Significance</b> An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area’s cultural or natural history.</p>	<p>Significant early enterprises associated with West Wallsend and Holmesville include the West Wallsend Coal Co. Ltd. and the associated West Wallsend Colliery No. 1. It is noted that a number of streets in West Wallsend were named after directors and others associated with the company. Also of note are the Caledonian Coal Co and the West Wallsend Co-Operative Society. Holmesville is closely associated with Joseph Holmes, who is a notable local historical figure and who played a central role in the development of the suburb. These connections remain discernible in the physical fabric of the HCA (across both townships) and in the social fabric of the townships.</p> <p>The conservation area is also generally associated with all local residents and personalities that have resided and/or worked in the two townships over time. This connection is continued by current local residents, many of which have family lines that have been associated with the townships for multiple generations.</p>
<p><b>C – Aesthetic Significance</b> An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</p>	<p>In terms of aesthetic significance, the HCA contains a number of both residential and commercial buildings that date from the early history of the town.</p> <p>The residential and commercial buildings of West Wallsend form cohesive and aesthetically distinctive streetscapes. In particular, Carrington and Withers Streets contain concentrations of commercial buildings of recognised heritage significance, all of which date to the earliest phase of the township’s development (1885–1910). These buildings are representative of the period in which they were constructed, and also reflect the prosperity of the early mining town. These buildings are largely intact and provide some of the best examples of grand late nineteenth and early twentieth century commercial and community buildings within the Lake Macquarie LGA.</p> <p>The residential buildings of West Wallsend are similarly representative of the architectural style and character of residential development that typified the late-Victorian and Edwardian periods. Despite pockets of unsympathetic infill development, the architectural character of the residential properties of West Wallsend is relatively cohesive and contributes significantly to the overall heritage significance of the suburb. The substantial number of miners’ cottages that have been retained throughout the suburb create a distinct aesthetic character that complements the well-preserved commercial precinct of the same period.</p>

Criteria	Assessment
	<p>The commercial axis of Holmesville, though less grand than that of West Wallsend, also retains a high degree of integrity and illustrates well the original design intent of Joseph Holmes. Through its corner location and relatively grand scale, the Holmesville Hotel presents as a landmark building within the township, and in concert with the former Post Office and Store, Community Hall and community garden, contributes to a defining central axis located at the intersection of George and Charlotte Streets.</p> <p>The shared setting of West Wallsend and Holmesville and their relative isolation from surrounding development is unique, and highly aesthetically distinctive; this shared setting contributes strongly to a sense of place for both townships.</p>
<p><b>D – Social Significance</b> An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</p>	<p>The reverence in which both of the suburb’s histories are held by their local residents is demonstrative of the social significance of the HCA. Local residents have been active in compiling historical records relevant to the area, and the community’s investment in the townships is reflected by their active involvement in responses to development applications that would further degrade the conservation area’s integrity.</p>
<p><b>E – Research Potential</b> An item has potential to yield information that will contribute to an understanding of the local area’s cultural or natural history.</p>	<p>Further investigation and assessment of both West Wallsend and Holmesville is likely to yield new and significant information regarding the history of both townships.</p> <p>There remains ample opportunity for additional research to supplement and enhance the current understanding of both West Wallsend and Holmesville’s historical development and heritage significance, and it is likely that this would contribute more broadly to an understanding of the history of the wider Lake Macquarie region.</p>
<p><b>F – Rarity</b> An item possesses uncommon, rare or endangered aspects of the local area’s cultural or natural history.</p>	<p>Within the context of the Lake Macquarie local government area, the proposed West Wallsend and Holmesville HCA is one of only three listed conservation areas. Both of the townships that form the HCA are relatively unique within the local context, both being clear examples of early local townships that were established and developed through coal mining, and which have a continued residential and commercial use over time. By extension, they are strongly representative of the establishment and growth of towns, population and commerce in the Hunter Region both in the late 19<sup>th</sup> century and into the present day.</p> <p>Both townships contain clusters of locally listed heritage items, and highly intact building stock that is representative of the historical period within which they were constructed. Along with Catherine Hill Bay, West Wallsend and Holmesville are the most intact historical townships within the LGA.</p>
<p><b>G – Representative</b> An item is important in demonstrating the principal characteristics of a class of NSW’s (or the local area’s): cultural or natural places; or cultural or natural environments.</p>	<p>Both West Wallsend and Holmesville are representative of the historical phases in which they were developed, but also of the increasingly common interaction that occurs between historical townships and contemporary development pressures.</p> <p>As noted above, the building stock of both townships is representative of their historical development, with an appreciable number of examples of dwellings and commercial buildings that are representative of:</p> <ul style="list-style-type: none"> <li>• building styles, materiality and construction approaches from the late nineteenth century onwards</li> </ul>



Criteria	Assessment
	<ul style="list-style-type: none"> <li>• the influence of local industry on residential development and town layout</li> <li>• the influence of Joseph Holmes on town layout (Holmesville)</li> <li>• the historical prosperity of the townships</li> </ul> <p>West Wallsend’s role as the ‘parent’ township, and Holmesville’s role as the ‘satellite’ township.</p> <p>As a whole, the revised HCA is an important representative example of two largely intact late nineteenth century townships within the Lake Macquarie region.</p>

## 6.2.2 Statement of Significance

*Both West Wallsend and Holmesville were established in response to the commencement of mining operations in the local area, including those of the West Wallsend Coal Company and the Monkwearmouth Coal Company. The two townships have a distinct historical relationship, and are collectively demonstrative of the pattern of European settlement and development that occurred in response to the growth of mining industry in the area. Collectively, West Wallsend and Holmesville provide a relatively intact and highly significant example of interrelated late nineteenth and early twentieth century residential and commercial development within the Lake Macquarie Local Government Area. Their setting and relative isolation from surrounding development is unique, and highly aesthetically distinctive; this shared setting contributes strongly to a sense of place for both townships.*

*The township of West Wallsend is a good and largely intact example of a late nineteenth century mining town, which was specifically planned and developed by the West Wallsend Coal Company to house its workers. The township was large enough to support many commercial and community services, and acted as a centre for smaller villages in the district. One of these villages, Holmesville, was similarly established in response to housing demands associated with local mining operations; land to the west of Appletree Road was subdivided and sold from 1898 onwards, while that to the east (predominately comprising Seaham Street) was subdivided and developed from 1905 onwards. Both West Wallsend and Holmesville are representative of the historical phases in which they were developed, but also of the increasingly common interaction that occurs between historical townships and contemporary development pressures.*

*The historical character and aesthetic significance of both West Wallsend and Holmesville is defined by their residential dwellings, commercial buildings, and distinct bushland settings, noting that the commercial precinct of West Wallsend is considerably more intact, larger and grander than that of Holmesville. However, these differences between the commercial offerings of the two towns are representative of West Wallsend’s role as the ‘parent’ township, and Holmesville’s role as the ‘satellite’ township.*

## **West Wallsend**

*West Wallsend's built form is visible from a number of external vantage points (particularly the elevated slopes to the east), and its mountainous, bushland setting is aesthetically distinctive and significant, and contributes strongly to the township's character and presentation. The northern/northwestern approach into West Wallsend (via George Booth Drive) is particularly notable, descending from a high point with a clear transition from rural to urban.*

*The residential and commercial buildings of West Wallsend form cohesive and aesthetically distinctive streetscapes. In particular, Carrington and Withers Streets contain concentrations of commercial buildings of recognised heritage significance, all of which date to the earliest phase of the township's development (1885 – 1910). These buildings are representative of the period in which they were constructed, and also reflect the prosperity of the early mining town. These buildings are largely intact, and provide some of the best examples of grand late nineteenth and early twentieth century commercial and community buildings within the Lake Macquarie LGA.*

*The residential buildings of West Wallsend are similarly representative of the architectural style and character of residential development that typified the late-Victorian and Edwardian periods. Despite pockets of unsympathetic infill development, the architectural character of the residential properties of West Wallsend is relatively cohesive, and contributes significantly to the overall heritage significance of the suburb. The substantial number of miners' cottages that have been retained throughout the suburb create a distinct aesthetic character that complements the well-preserved commercial precinct of the same period.*

*The intactness of the township and surrounding suburb makes West Wallsend a unique and valuable example of an early local township that was established and developed through coal mining. By extension, it is strongly representative of the establishment and growth of towns, population and commerce in the Hunter Region.*

*West Wallsend is regarded as the best preserved residential and commercial historical precinct within the Lake Macquarie local government area, despite discrete areas of modern and unsympathetic development that has occurred within and in proximity to the township.*

## **Holmesville**

*Relative to its size, Holmesville contains a number of intact residential buildings that date from the late 1800s onwards, and which are clearly representative of the historical period in which they were constructed. Though it has less overall integrity than West Wallsend, Holmesville remains a key example of a satellite township that was developed in direct response to a specific industry (mining). Holmesville's sense of place, whilst compromised in discrete areas by contemporary development, has largely been retained intact. The suburb has strong and clear connections to the Holmes family, who are notable local historical figures that contributed significantly to the local area's historical development.*

*Within Holmesville, significant view lines to the Sugarloaf Range to west are available from a number of streetscapes, including Earl, St Helen, George and William Streets. Both townships are based around basic grid street patterns, which have remained largely unchanged since its initial development in the late 1800s and early 1900s.*

*The commercial axis of Holmesville, though less grand than that of West Wallsend, also retains a high degree of integrity and illustrates well the original design intent of Joseph Holmes. Through its corner location and relatively grand scale, the Holmesville Hotel presents as a landmark building within the township, and in concert with the former Post Office and Store, Community Hall and community garden, contributes to a defining central axis located at the intersection of George and Charlotte Streets.*

## 7.0 Recommendations for Amendments to the LMLEP 2014 and LMDCP 2014

### 7.1 Individual Heritage Listings

Within Appendix 1 of the *LMCC Heritage Guidelines*, one potential heritage item is identified for the suburb of West Wallsend, and three potential heritage items are identified for the suburb of Holmesville. These guidelines were adopted by Council on 11 June 2013. The *Heritage Guidelines* state that these potential heritage items were brought to Council's attention as having some cultural significance, but that the level of this potential significance is yet to be determined. These potential heritage items are listed in **Table 7.1** below.

**Table 7.1 Potential heritage items in West Wallsend and Holmesville, identified in the LMCC Section 9.0 Heritage Guidelines**

Item No.	Significance	Item	Address	Property Description
<b>West Wallsend</b>				
<b>WW-57A</b>	Not provided	Former Police Station	12 Withers Street	Lot 2, DP 1119064
<b>Holmesville</b>				
<b>HV-26A</b>	Not provided	Dwelling	3 Margaret Street	Lot B, DP 307768
<b>HV-27A</b>	Not provided	Dwelling	14 George Street	Lot 16, Sec. D, DP 3442
<b>HV-28A</b>	Not provided	Samuel Holmes' House	6 Private Lane	Lot 2, DP 4647

#### 7.1.1 Proposal

*It is not proposed to nominate any additional properties for individual heritage listing. Rather, properties of identified contributory value are proposed to be included as clearly identified contributory properties within the revised HCA. Appropriate objectives and controls for the management of these properties will be included within the revised DCP.*

#### 7.1.2 Justification

Discussions with LMCC to date have shown that the successful pursuit of individual heritage listings for properties within the Lake Macquarie LGA is dependent upon the co-operation of property owners, who are provided with an opportunity to object to any proposed listing over their property. It has been advised that the success rate for individual heritage listings within the Lake Macquarie LGA is low.

It is further noted that although the history of the wider townships of West Wallsend and Holmesville is relatively well documented, information pertaining to individual properties, and particularly residential properties (dwellings), is comparatively limited. This is demonstrated by the limited number of heritage listings within the townships that relate to residential properties. Samuel Holmes' House may be an exception to this, given the historical and social significance of the former property owners and occupants, which is likely to mean that there is a greater amount of information available to support a nomination for local heritage listing. By contrast, historical information related to commercial and/or communal buildings, such as the Former Police Station, is likely to be more readily available.

Based on the above combined factors, it has been assessed that the pursuit of individual heritage listings for the two residential dwellings located at 3 Margaret Street and 14 George Street in Holmesville listed in **Table 7.1** is unlikely to be successful. This is based both on the anticipated difficulty in obtaining adequate information and evidence to conclusively prove that these dwellings meet the criteria for local heritage listing, as well as the potential for resistance to heritage listing by the property owners.

Individual listings of the Former Police Station and Samuel Holmes' House (also listed in **Table 7.1**) may have a greater chance of success as it is likely that a greater level of information will be available to support a nomination for heritage listing. However, both of these properties are privately owned and function as residential dwellings. As such, there remains the potential for there to be resistance to a heritage listing by the property owners.

Moreover, the process for individual listing requires additional research, reporting, and a formal application to be lodged. This is likely to be both a lengthy and costly process. For these reasons, the pursuit of individual listings does not form a recommendation of this report.

In lieu of this, contributory gradings have been applied to all properties within the Core Study Area. Properties assessed to be of contributory significance (Contributory 1) will be managed and protected through objectives and controls within the revised DCP that are specific to their level of identified significance. This will ensure that these buildings are subject to an appropriate level of development control. As the LEP and DCP are to be revised irrespective of the application of contributory gradings for the HCA, this approach negates the need for any additional and separate application and/or approval processes for individual listings.

## 7.2 Heritage Conservation Area

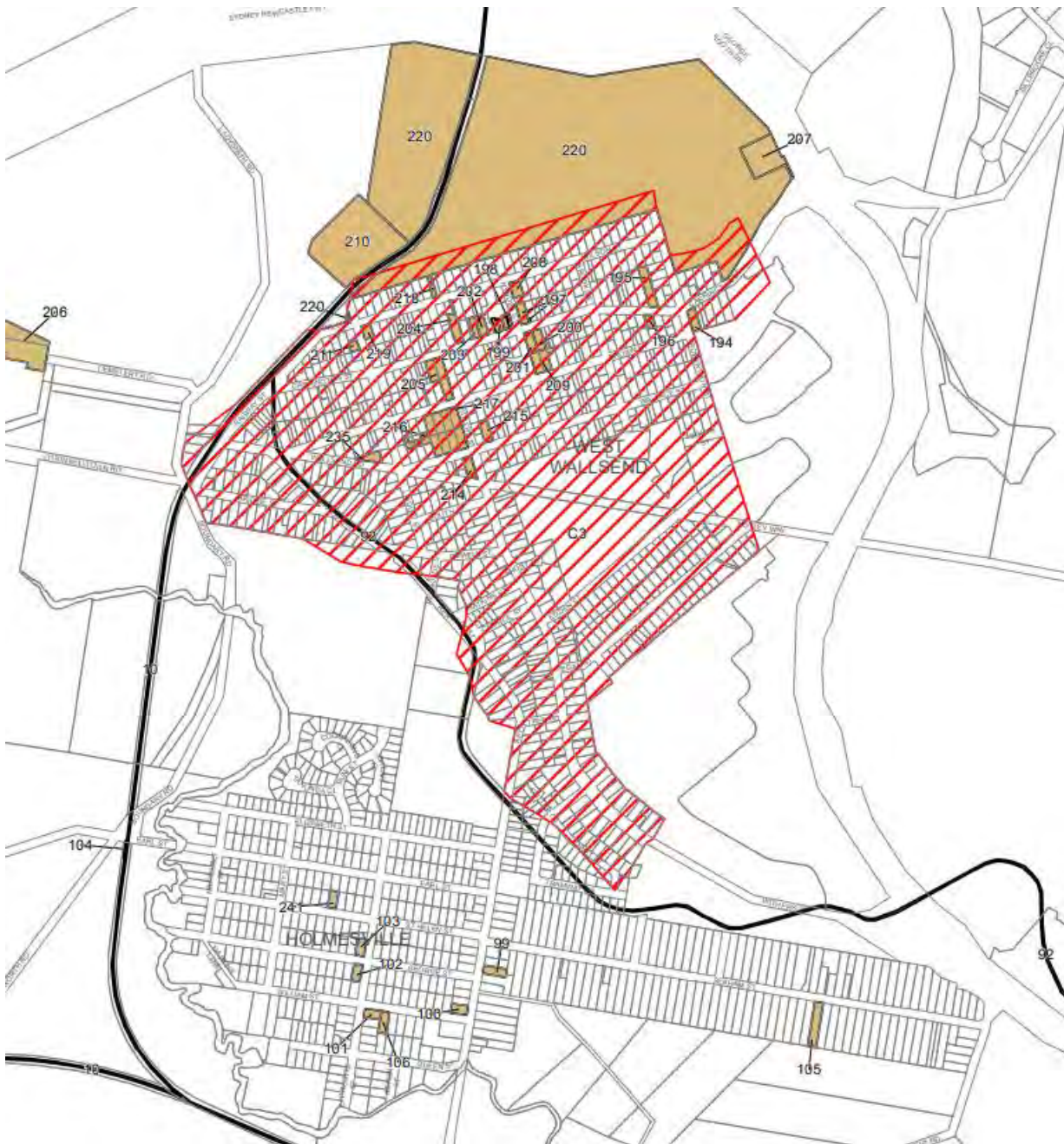
The West Wallsend HCA may have been initially developed as part of the Hunter Regional Environmental Plan 1989 (repealed). The boundaries were revised following the preparation of the 1993 *City of Lake Macquarie Heritage Study* by Suters Architects Snell for Lake Macquarie Council. The HCA boundaries that were in place prior to 2016 are shown in **Plate 7.1** for reference.

In 2016, the HCA boundaries were again revised to include the approved Appletree Grove Estate development. As outlined at **Section 2.4**, this was done as a way to protect the setting of the West Wallsend HCA by enabling Council to retain some control over development applications within the area and by allowing design guidelines for the area to be enforceable.

Despite heritage conservation areas previously being recommended for portions of Holmesville (as part of the 2014 *West Wallsend Heritage Study* as well as part of the 1993 *Lake Macquarie Heritage Study*), the suburb is not subject to any heritage conservation areas and does not form part of the existing West Wallsend HCA.

The current HCA boundaries are shown in **Figure 4.1**. Listed heritage items are also shown in this figure, along with the West Wallsend/Holmesville Heritage Precinct.





**Plate 7.1 Boundaries of the West Wallsend HCA (red hatching) prior to 2016**

Source: Lake Macquarie LEP 2014, Heritage Map HER\_008B.

## 7.2.1 Proposal

*It is proposed to amend the boundaries of the HCA to better reflect the historical, spatial and aesthetic interrelationship of West Wallsend and Holmesville. Revisions are also recommended to formally recognise the established heritage significance of Holmesville, portions of which have repeatedly been recommended for inclusion in the LM LEP 2014 as a heritage conservation area(s).*

*Revisions will also better reflect the spatial distribution of listed heritage items and contributory properties within both townships, and will better capture significant views and vistas that contribute to the collective setting, character and significance of the two townships. Of key concern is protecting the unique and significant shared setting of the townships by limiting opportunities for inappropriate development in the vicinity of West Wallsend and Holmesville.*

## 7.2.2 Justification

The current boundaries of the West Wallsend HCA have been analysed as part of this assessment. For the most part, the boundaries appropriately encompass the township of West Wallsend, including the locally listed heritage items and contributory buildings (Contributory 1 and 2) contained therein. However, the existing boundaries do not follow cadastral boundaries, and appear to be relatively arbitrary at close scale.

The current boundaries also do not encompass locally listed heritage items that are located outside but immediately adjacent to the residential and commercial areas of West Wallsend. In particular, this includes:

- ‘West Wallsend Valve House and Underground Reservoir’ (Item ID 207)
- ‘West Wallsend Football Club Ground (Johnson Park)’ (Item ID 210)
- ‘West Wallsend (No. 1) Colliery’ (Item ID 220)
- ‘West Wallsend Steam Tram Line’ (Item ID 92)
- ‘Seaham, West Wallsend, Fairley and Killingworth Railway’ (Item ID 10).

In addition to this, and as noted above, the prior recognition of Holmesville’s heritage significance as part of previous heritage assessments (including the 1993 *Lake Macquarie Heritage study* and the 2014 *West Wallsend Heritage study*) has resulted in portions of the suburb having been recommended for inclusion on the LEP as heritage conservation areas. To date, Holmesville has never formed part of a formal HCA, either partially or wholly.

Based on the above, a revision of the existing HCA boundaries was considered warranted. The proposed revised HCA boundaries are shown in **Figure 7.1**. It should be noted that the proposed revised boundaries are in draft form only, pending further feedback and edits from LMCC upon review of this working report.

The revised HCA boundaries have been developed to better reflect:

- the spatial distribution of contributory properties (refer to **Section 4.2**) and the extent of streetscape with high integrity
- the spatial distribution of heritage listed items, in association with which development is already constrained
- significant views and vistas that contribute to the setting, character and significance of the area (refer to **Section 5.1**)
- the township of Holmesville, which has previously been recommendation for inclusion in or conversion to an HCA (refer above)
- cadastral boundaries (with detailed boundary revisions made so that the HCA boundaries conform more closely to allotment boundaries).

In addition to the above, the revised HCA boundaries incorporate what is referred to as a 'Landscape Buffer Zone' (refer to **Figure 7.2**). The intention of the Landscape Buffer Zone is to:

- Provide a visual and spatial buffer between the HCA and any medium to high density residential or commercial development proposed in the future.
- Avoid a similar situation as that presented by the Appletree Grove Estate, where development in the immediate proximity of the HCA has resulted in significant adverse visual and aesthetic impacts.
- Maintain the shared setting of West Wallsend and Holmesville, which is strongly characterised by undeveloped and vegetated land to the north, east and west. This shared setting contributes strongly to the HCA's identified aesthetic significance and should be preserved.

It is noted that the revised HCA boundaries encompass a larger area than the existing HCA boundaries do, particularly as a result of the inclusion of a large portion of the township of Holmesville. However, this increase in area is mitigated by the application of contributory gradings to individual properties. It is also mitigated by the proposed removal of the West Wallsend/Holmesville Heritage Precinct, the inclusion of which within the current DCP is problematic with regards to development assessment (refer to **Section 7.3**).

The intention of the revised HCA boundaries, coupled with the application of contributory gradings for individual properties, is to allow for a greater degree of development control for Contributory 1 buildings, whilst enabling an appropriate degree of flexibility for the development of Contributory 2 and Non-Contributory properties. The application of contributory gradings means that although more properties are included within the revised HCA, there is a greater degree of discretion available in how individual streetscapes and properties are managed and protected by the DCP. Generally speaking, Contributory 2 and Non-Contributory properties will be subject to considerably less stringent objectives and controls than Contributory 1 buildings will.



Simultaneously, the overall character and setting of the wider suburb will be afforded a greater degree of cohesive protection, with objectives and controls able to be developed for:

- the area as a whole
- identified significant views and vistas
- individual properties
- entire streetscapes.

This will effectively mitigate development assessment issues currently being experienced in relation to the existing DCP objectives and controls, which are limited and generalised. The revised DCP is also intended to take precedence over the *LMCC Heritage Guidelines*. Ultimately, an overarching DCP that is thorough in its approach and that adequately addresses the nature and details of the HCA (including the relative gradings of individual properties) will be developed based on the changes proposed in this document.

For reference, the following table has been compiled to demonstrate the details of the proposed HCA boundary changes, as they relate to affected properties. As this table demonstrates, although the number of individual properties within the HCA has increased, the relative number of Contributory 1 properties, which are subject to more stringent development controls than Contributory 2 and Non-contributory properties, is low (fewer than those graded Contributory 2).

It is noted that the below figures are based on legal allotment boundaries, and do not necessarily reflect the number of individual structures present within each allotment. The below figures do not include any of the properties within the Apple Tree Grove Estate, as they are largely excluded from this study. The 'Number of individual properties included within the revised HCA' figure does include allotments located within the proposed Landscape Buffer Zone, noting that these allotments have not been subject to individual contribution gradings. These allotments do, however, contribute to the wider setting of the HCA as recognised by their proposed inclusion in the wider revised HCA (and therefore their inclusion in the "Number of individual properties included within the revised HCA' figure).

**Table 7.2 Details of changes associated with the revised HCA boundaries**

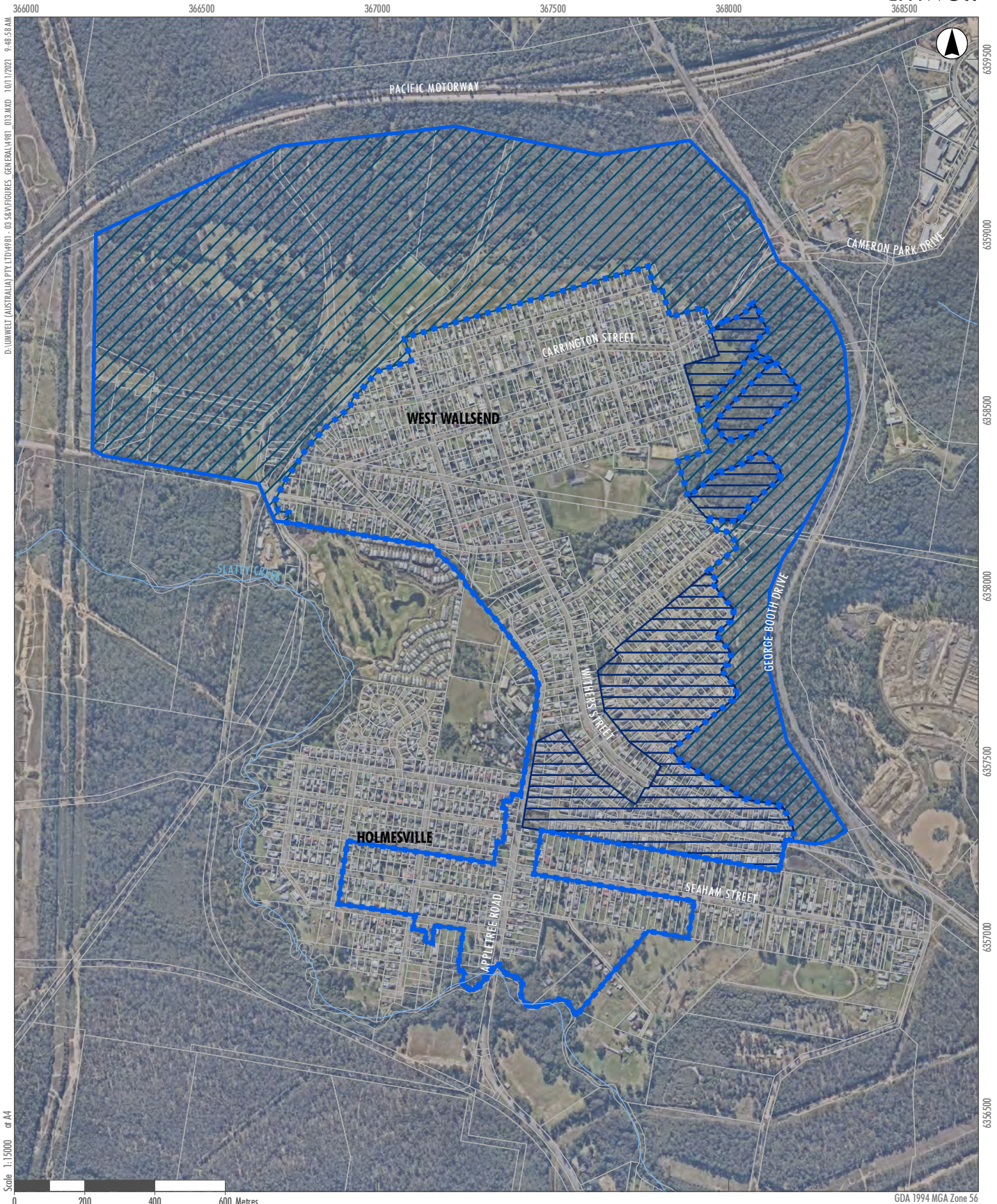
Item	Result
Number of individual properties included within existing HCA	1,037
Number of individual properties included within the revised HCA	1,181
Number of individual properties graded as Contributory 1 within the revised HCA	304
Number of individual properties graded as Contributory 2 within the revised HCA	378
Number of individual properties graded as Non-contributory within the revised HCA	154
Number of individual properties not assessed within the revised HCA	345

### **7.2.2.1 Removal of Properties from the Revised HCA**

Though the revised HCA is larger than the existing HCA, several properties have been removed. The removal of these properties from the revised HCA is predominately due to their Non-Contributory grading. They do not form part of any consistent streetscapes with clear integrity and tend to be located on the periphery of the revised HCA. These properties do not have a strong spatial or visual relationship with the more intact portions of the revised HCA.

The excision of these properties from the revised HCA is not anticipated to result in any adverse impacts to the overall integrity and significance of the HCA.





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 Scale 1:15000 or A4

- Legend**
- Proposed Revised HCA Boundary
  - Landscape Buffer Zone
  - Appletree Grove Estate

FIGURE 7.1

Proposed Revised HCA Boundaries



## 7.3 Heritage Precinct

The West Wallsend/Holmesville Heritage Precinct is included in the LM DCP 2014 as part of a 'Heritage Area Plan' within the Lake Macquarie LGA. The West Wallsend/Holmesville Heritage Precinct covers a significantly larger area than the current West Wallsend HCA (as defined within the LM LEP 2014) and the proposed revised West Wallsend and Holmesville HCA, extending as far north and west as the Pacific Motorway, as far south as the northern boundaries of Barnsley, and as far east as George Booth Drive.

### 7.3.1 Proposal

*It is proposed to remove the Heritage Precinct in its entirety from the LMDCP 2014, and replace it only with the proposed West Wallsend and Holmesville Heritage Conservation Area.*

### 7.3.2 Justification

As noted above, the Heritage Precinct boundaries encompass a large area, the majority of which has not been previously assessed to be of or contain elements of heritage significance. The boundaries of the Heritage Precinct, like those of the existing HCA, appear arbitrary, and are not adequately justified by the historical record. This means that all development applications within the Heritage Precinct, whether they apply to items of established or potential significance, or to buildings constructed in the recent past (i.e., within the last 5-10 years) that have no identified heritage significance, are being referred to Council's heritage officers as part of the development assessment process.

At present, the Heritage Precinct functions as an element within the DCP, and unlike the LEP (and the HCA) does not have statutory protection. Council have advised that in their experience, heritage protection afforded by the Heritage Precinct is generally overruled by the provisions of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*. The Heritage Precinct therefore has little weight in terms of heritage protection and is not readily enforceable by Council's heritage officers.

For the reasons discussed above, the retention of the Heritage Precinct is not considered warranted. The removal of the Heritage Precinct as a mechanism for development control and heritage protection is, however, offset by the proposed expansion of the existing HCA (refer to **Section 7.2**), including the application of contribution gradings and the identification of views and vistas of significance.

These mechanisms are anticipated to be considerably more effective in affording protection to the heritage significance of both West Wallsend and Holmesville, whilst simultaneously providing greater clarity to Council, property owners/users and contractors with regards to the management and protection of heritage items and areas and their responsibility in that regard.

## 7.4 Height Controls

Across the majority of both townships, the existing height limit is 8.5 m (I classification), which allows for development of up to two storeys, depending on design. This height limit is generally considered appropriate, as it helps to maintain the predominant single storey scale of development whilst allowing for well-designed and appropriate rear additions of up to two storeys in height.



Within both townships are discrete areas where the height limit increases to 10 m (K classification). These areas are concentrated on the principal commercial axes of each suburb, but also encompass adjoining residential blocks.

The existing height controls that apply to the proposed revised HCA are shown in **Figure 7.2**.

### 7.4.1 Proposal

*It is proposed to vary the height provisions in the LMLEP 2014 in some areas within the revised HCA boundaries to better reflect and conserve the predominate scale and character of the area from which its identified significance is in part derived.*

### 7.4.2 Justification

The predominant scale of development within the revised HCA is single storey. Residential buildings that have street presentation greater than one storey have consistently been identified as Non-Contributory as a result of this assessment, as they are typically spatially isolated, interrupt the relatively consistent rhythm of streetscapes which is strongly defined by a consistent scale of development, are exclusively contemporary and/or represent substantial and inappropriate modifications to early dwellings. A greater scale of development is present within the commercial axes of both townships, where existing buildings of two or more storeys in scale are predominately heritage listed buildings or buildings graded as Contributory 1.

#### West Wallsend

The predominate height limit across West Wallsend is 8.5 m (I classification). This allows for development up to two storeys in height, depending on design. Within a portion of West Wallsend, the permissible development height rises to 10 m (K classification); this portion is concentrated on the principal commercial axis of the suburb, as defined by the intersection of Carrington and Withers Streets. It extends as far north as Wilson Street, as far south as Brown Street, as far west as Laidley Street and as far east as Hyndes Street.

Outside of the commercial precinct, almost all development within West Wallsend is single storey. This consistency of scale contributes strongly to the significant views and vistas that have been identified within and around the suburb and has helped to maintain West Wallsend's sense of place and overarching aesthetic character as a low-scale mining town developed in the late 1800s.

The commercial axis of West Wallsend is strongly defined by larger-scale development, which presents as two to three storeys in height (owing to generous parapets and other design features). At present, this larger scale of development extends throughout the area highlighted in **Plate 7.2** below.



**Plate 7.2 Area where the height of existing development is generally greater than one storey (shaded yellow)**

Source: <https://maps.six.nsw.gov.au/>

Within the remainder of the area where the height limit is currently 10 m, development is predominately single storey and largely residential, with only two further allotments containing development of a larger scale and/or higher density (both being located at the southeast corner of Laidley and Wilson Streets). Outside of Carrington and Withers Streets, development type (residential) and scale (single storey) is consistent. In particular, Wilson Street presents and reads as a residential street, despite isolated instances of larger-scale development (including that mentioned above). Similarly, Brown Street also presents and reads as a residential street with the exception of those allotments that front, or are located in close proximity to, the commercial portion of Withers Street.

Photographs demonstrating the above-described conditions are provided below for reference.





**Plate 7.3** View from the intersection of Carrington and Laidley Streets, facing east into the 10-metre height limit area

Source: Umwelt, 2020.



**Plate 7.4** View from the intersection of Brown and Laidley Streets, facing northeast across the 10-metre height limit area

Source: Umwelt, 2020.





**Plate 7.5** View from the intersection of Brown and Hyndes Streets, facing northwest across the 10-metre height limit area

Source: Umwelt, 2020.



**Plate 7.6** View of the intersection of Wilson and Hyndes Streets, facing southwest across the 10-metre height limit area

Source: Umwelt, 2020

It is therefore proposed to reduce the extent of the area where the current height limit is 10 m (K classification), with the proposed revised area shown in **Figure 7.3**. It is recommended that a height limit of 8.5 m (I classification) be applied to all allotments located outside of the commercial precinct (where a height limit of 10 m is to be maintained), as shown in **Figure 7.3**. This reduction is proposed to:

- Encourage higher density development to be concentrated within the commercial axis of the suburb, where clear and appropriate precedents for larger-scale development are present.
- Preserve the residential character and low scale of streets adjoining the commercial precinct, including Wilson Street, Brown Street and those sections of Carrington Street that fall outside the area shown in **Plate 7.2** above.
- Discourage pockets of infill development that obscure and interrupt streetscapes that are otherwise predominately single storey in scale and residential in character.
- Be more consistent with the applicable B1 land zoning classification.

Development of an inappropriate scale poses one of the major threats to the integrity and condition of the HCA. Development of an inappropriate scale, where present, has already resulted in a readily discernible adverse impact to the visual integrity of the HCA, and it is crucial that such development be discouraged in order to most effectively preserve and strengthen the heritage character and 'feel' of West Wallsend which, outside of the commercial precinct, is strongly defined by low-scale residential development.

As part of the proposed revisions, it is not proposed to reduce the height limit that applies to the commercial precinct (the area shown with a 10 m height limit in **Figure 7.3**). New development that matches the height of existing buildings within the commercial precinct is unlikely to have a significant adverse impact on the heritage significance of West Wallsend as:

- A precedent for development of this scale has already been set by existing buildings, the majority of which are locally listed and/or identified as Contributory 1 buildings.
- Infill development that responds appropriate to the height of these existing buildings may ultimately further emphasise the visual and economic prominence of the commercial precinct within the context of the wider suburb (refer to **Section 5.1** for further information regarding the visual prominence of the commercial precinct).
- Concentrating larger-scale development within a more discrete area will discourage inappropriate 'pockets' of higher density development within more intact residential streetscapes that are consistently and clearly low-scale.
- Many of the allotments in this area are generous in size and/or are already vacant. This means they have a greater capacity for more substantial development than smaller blocks located elsewhere within the HCA or blocks that already contain Contributory 1 and Contributory 2 buildings.
- Within the context of the wider HCA, this area is less consistent in terms of the scale, design, and presentation of buildings. There is therefore a greater degree of opportunity for infill development to be introduced.

For these reasons, this area is assessed to have a greater capacity for development of a more substantial scale than the remainder of the revised HCA. Changes to the height controls that apply in this area are therefore not considered to be warranted.

### **Holmesville**

The predominate height limit across Holmesville is 8.5 metres (I classification). This allows for development up to two storeys in height, depending on design. Within a portion of Holmesville, the permissible development height rises to 10 metres (K classification); this portion is concentrated on the principal commercial axis of the suburb, as defined by the intersection of George and Charlotte Streets, and extends as far west as Mary Street, and as far north and south as Elizabeth Street and William Street. With the exception of the handful of isolated examples, almost all development within Holmesville is single storey. This consistency of scale contributes strongly to the significant views and vistas that have been identified within and around Holmesville and has helped to maintain Holmesville's sense of place and overarching aesthetic character.

Within the area where the current permissible development height is 10 m (K classification), the only building that is not single storey is the 'Holmesville Hotel', which is a locally listed heritage item of high local significance. The Holmesville Community Hall (which has been graded Contributory 1) has a particularly high roof pitch but is one storey in height in terms of usable space and streetscape presentation. As such, the predominate scale of development within the principal commercial axis of Holmesville and within the area where development up to 10 m in height is currently permissible, is single storey. The commercial axis of Holmesville is limited to the immediate intersection of Charlotte and George Streets, as defined by the corner blocks that address the intersection and their immediate neighbours. Beyond this immediate axis, development is almost exclusively residential and single storey.

Aside from the 'Holmesville Hotel', there is no real infrastructure, services or commercial tenancies present that would adequately support higher-density residential development in this area. With regards to commercial development, the size of Holmesville and the proximity of West Wallsend (and the services present there) means it is unlikely that a high demand for large-scale commercial offerings within Holmesville itself will eventuate. The building stock of the area discussed above is shown in the below photographs for reference.





**Plate 7.7 View facing southeast across the current 10 metre height limit building zone**

Photograph is taken from the intersection of Mary and Earl Streets

Source: Umwelt, 2020.



**Plate 7.8 View facing northeast across the current 10 metre height limit building zone**

Photograph is taken from the intersection of Mary and William Streets

Source: Umwelt, 2020.





**Plate 7.9** View north along Charlotte Street showing the 'Holmesville Hotel'

Source: Umwelt, 2020.



**Plate 7.10** View facing northwest across the current 10 metre height limit building zone

Photograph is taken from the intersection of Charlotte and William Streets with the Sugarloaf Range visible in the background

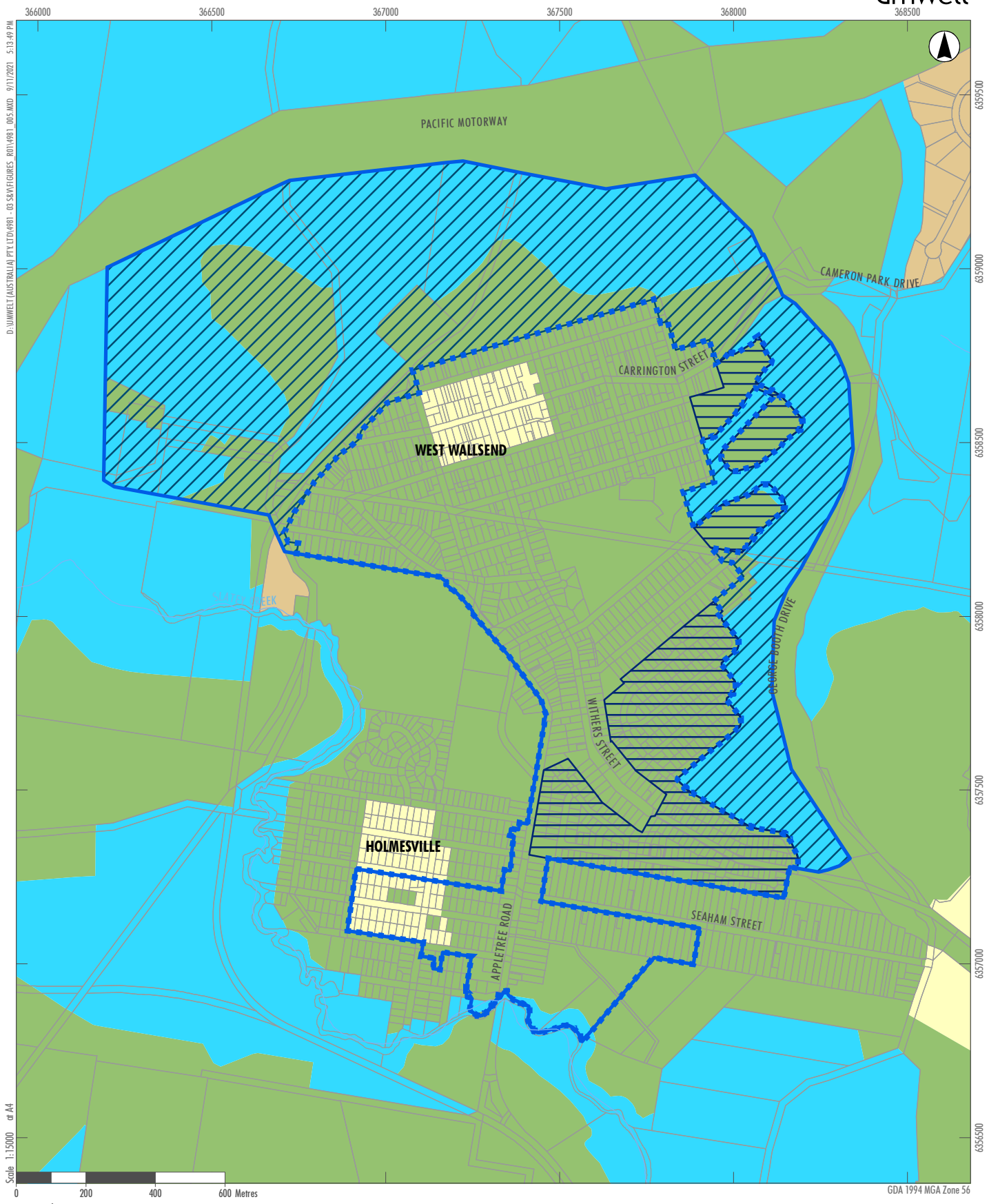
Source: Umwelt, 2020.

For these reasons, the area with a height limit of 10 metres (K classification) is considered to be inappropriate and unwarranted within the suburb of Holmesville. Development of a scale permissible under the existing 10 m height controls would be highly inappropriate, and would result in significant adverse impacts to:

- The consistency of scale and development typology within Holmesville, which strongly contributes to its aesthetic character and identified heritage significance.
- The commercial axis and heritage listed and/or Contributory 1 buildings contained therein. Development of a comparable or larger scale than that which already exists in this area has the potential to significantly compromise the visual prominence and aesthetic distinctiveness of significant buildings that are already present.
- Existing views and vistas to, within and of the area, which are strongly defined by consistent low-scale development interspersed with isolated larger-scale buildings of identified significance.

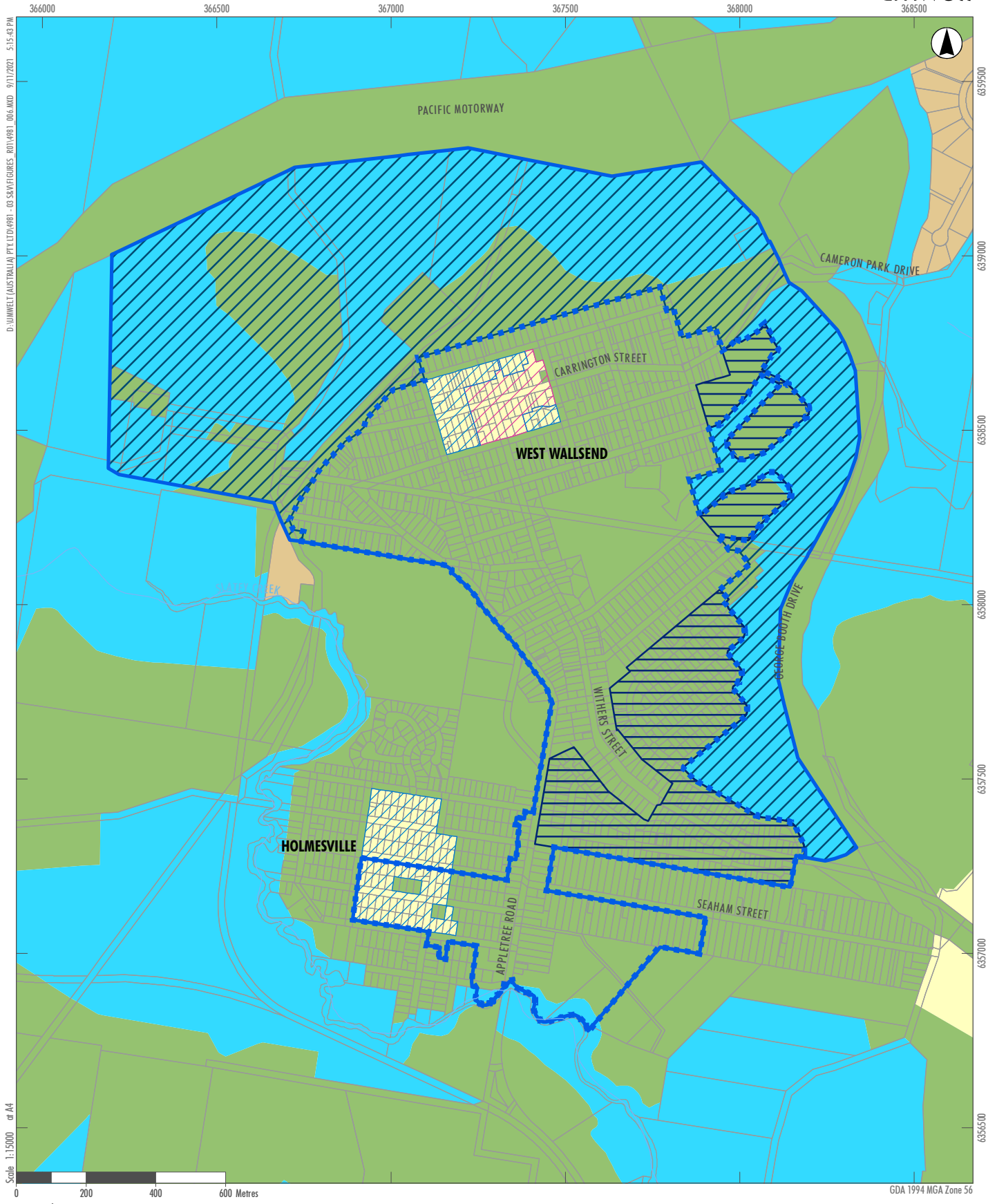
It is therefore recommended that the height limit of 10 metres (K classification) within Holmesville be changed to be consistent with the height control that applies to the remainder of the suburb, being 8.5 m (I classification). This is shown in **Figure 7.3**.





- Legend**
- Proposed Revised HCA Boundary
  - Landscape Buffer Zone
  - Appletree Grove Estate
- Maximum Building Height (m)**
- D (5.5)
  - I (8.5)
  - K (10)
  - O1 (15)

**FIGURE 7.2**  
**Revised HCA Boundaries**  
**in relation to applicable height limits**



- Legend**
- Proposed Revised HCA Boundary
  - Landscape Buffer Zone
  - Appletree Grove Estate
  - Maximum Building Height (m)**
  - D (5.5)
  - I (8.5)
  - K (10)
  - O1 (15)
  - Revised Height Areas**
  - 10m Height Limit Removed
  - Revised 10m Height Limit Area

FIGURE 7.3

**Revised HCA Boundaries  
in relation to proposed revised height  
controls**

## 7.5 Consideration of the Local and Regional Strategic Planning Framework

With regard to the wider planning context, the proposals outlined in this Working Report and DCP study, and the associated LEP revisions and revised DCP controls are intended to conserve, reinforce and enhance the heritage character of West Wallsend and Holmesville in accordance with relevant planning documents, plans and strategies. This is summarised in **Table 7.3** below. Where conflicts have been identified between the findings of this study and relevant planning documents, plans and strategies, this is noted and discussed.



**Table 7.3 Consideration of the local and regional strategic planning framework**

Planning Document and Select Statements	Discussion
<b>Lake Macquarie City Housing Strategy 2020</b>	
<p><b>City Vision and Values</b></p> <p><i>We value our unique landscape: a place where the natural environment (bushland, coast, lake and mountains) is protected and enhanced, where our existing urban centres are the focus of our growth, maintaining their unique characteristics.</i></p>	<p>This study has been prepared to identify and conserve the unique characteristics of the West Wallsend Heritage Conservation Area and West Wallsend and Holmesville Heritage Precinct. This content is based on a technical assessment of the area’s heritage significance.</p> <p>It includes objectives and controls regarding the landscape setting of West Wallsend and Holmesville area and its unique aesthetic character.</p> <p>This improves substantially on the existing DCP, which contains a limited number of objectives/controls for development.</p>
<p><b>Housing Strategy Priorities in Brief – Strategy Objectives</b></p> <p><i>Ensure infill development is sensitive to the character of existing places.</i></p> <p><b>Priority 3: Facilitating Infill Opportunities for Housing Close to Jobs and Services, and Appendix 1</b></p> <p><i>Ensure infill development is sensitive to the character of existing places.</i></p> <p><i>When increasing density potentials recognise the character of the place to ensure infill is sensitive to that character.</i></p>	<p>This study considers infill development in detail and provides specific objectives and controls for infill development. This content is based on a technical assessment of the area’s heritage significance.</p> <p>This improves substantially on the existing DCP, which contains a limited number of objectives/controls for development.</p>
<b>The Hunter Regional Plan 2036 <sup>5</sup>:</b>	
<p><b>Goal 3 – Thriving communities</b></p> <p><i>“Protecting built heritage values through revitalisation will create thriving communities that are great places to live.</i></p>	<p>This study has identified all heritage values associated with the revised HCA, including the identification of contributory elements. It provides objectives and controls that are specifically intended to protect these identified heritage values, whilst providing direction for future development that enables the continued improvement and growth of the West Wallsend and Holmesville area.</p>

<sup>5</sup> Note: The Hunter Regional Plan 2041 was released in December 2022. As this will not influence the recommendations made in this report, no amendments to the above information has been undertaken.

Planning Document and Select Statements	Discussion
<p><b>Direction 19 – Identify and protect the region’s heritage</b></p> <p><i>Cultural heritage is important to communities by providing tangible connections to the past. Heritage items can also attract tourism, which can contribute to local economies.</i></p> <p><i>Interpreting and adaptively reusing built heritage items has been successful in giving smaller communities across the State a new lease on life.</i></p> <p><i>Enhancing main streets through heritage conservation creates authenticity, attracts new businesses and residents, and offers tourism potential, as demonstrated in Morpeth. It is worth investigating opportunities to do this in the region as it can contribute to building resilience in smaller communities such as Stroud, Denman and Wingham.</i></p> <p><b>Actions</b></p> <p><i>19.2 Assist the preparation of appropriate heritage studies to inform the development of strategic plans, including regional Aboriginal cultural heritage studies.</i></p>	<p>As above.</p> <p>This study encourages improvements to the principal commercial axis of both West Wallsend and Holmesville, and the conservation of the village feel’ of both townships. This is a point of difference for the townships that should be acknowledged and utilised to encourage tourism and specific commercial uses.</p> <p>This study has been prepared to inform the development/revision of strategic plans.</p>
The Lake Macquarie Local Strategic Planning Statement 2020	
<p><b>Strategic Context – Heritage</b></p> <p><i>“Our challenge is to establish a robust basis by which this vibrant local character can be protected into the future whilst at the same time establishing a framework for new development within the City.</i></p> <p><i>Heritage listing within Lake Macquarie’s Local Environmental Plan (LEP) provides legal recognition that a place has heritage significance worth preserving for future generations, and is a physical link to the work and way of life of earlier generations. There are around 257 heritage items and three heritage conservation areas listed in the LEP.</i></p>	<p>This study focuses heavily on the preservation of the unique local character of the revised HCA and provides objectives and controls intended to preserve this character.</p> <p>The objectives and controls presented in this study support the conservation of the heritage values within the West Wallsend and Holmesville areas, and consequently, Lake Macquarie’s heritage.</p>

Planning Document and Select Statements	Discussion
<p><i>Planning controls in Lake Macquarie’s LEP and Development Control Plans, along with Council’s Local Heritage Places Grant Fund and other initiatives, support the conservation of Lake Macquarie’s heritage.</i></p>	
<p><b>Planning Priority 2: A City to Call Home</b></p> <p><b>Principles</b></p> <p>Ensure new growth areas are highly liveable and well serviced with access to services, facilities and social opportunities by a range of transport modes.</p> <p>Ensure future residential housing is located with access to jobs, shopping, services, community facilities, and public spaces by a range of transport modes and maintains important local conservation areas.</p>	<p>This study is intended to protect and maintain the revised HCA which is one of only three within the Lake Macquarie LGA.</p>
<p><b>Planning Priority 5: A City of Progress and Play</b></p> <p>Lake Macquarie’s heritage – built, Aboriginal and landscape – will be recognised, valued and protected, providing the community with a sense of living history and a physical link to the work and way of life of earlier generations.</p> <p><b>Principles</b></p> <p>Promote innovative approaches to the adaptive re-use of heritage places and buildings.</p> <p><b>Actions (Action 5.1)</b></p> <p>Report to Council for exhibition a review of the Lake Macquarie Local Environmental Plan and Development Control Plan for the West Wallsend heritage conservation area and implement relevant actions from the West Wallsend Heritage Management Strategy and Streetscape Masterplan to conserve the heritage significance of the area and to manage development in the historic suburb.</p>	<p>This study recognises the heritage significance of the revised HCA and provides objectives and provisions for its protection, as well as the adaptive reuse of heritage places and buildings</p> <p>This study directly addresses Action 5.1.</p>



Planning Document and Select Statements	Discussion
<p><b>North West Growth Area – Cardiff Glendale and Surrounds</b></p> <ul style="list-style-type: none"> <li>• New development complements the character of West Wallsend Heritage Conservation Area.</li> <li>• Human-scale, pedestrian-friendly development occurs within the centre along Carrington and Withers streets.</li> <li>• The Aboriginal cultural heritage significance of Butterfly Caves, Mount Sugarloaf and Mount Sugarloaf Range is recognised, managed, conserved and interpreted in cooperation with the local Aboriginal community.</li> <li>• West Wallsend takes advantage of adventure tourism opportunities, including access to mountain bike trails in the Watagan and Mount Sugarloaf Ranges and the Richmond Vale Rail Trail.</li> <li>• The values of West Wallsend Heritage Conservation Area are protected and enhanced.</li> </ul>	<p>This study responds to these objectives by providing objectives and controls intended to protect the cultural heritage values of revised HCA.</p> <p>It provides detailed guidance for new development, including where more intensive residential development is appropriate, and where it is not, based on a detailed technical heritage analysis of the area.</p> <p>The study has regard to the opportunities presented by the North West Growth Area which include opportunities to redevelop the Glendale to West Wallsend Urban Intensification Corridor and potential ‘Very Fast Train’ linkages, proposed Lower Hunter Freight Bypass Corridor with medium density housing to increase supply and diversity of housing types. There are also opportunities for more intensive mixed use and residential development within and adjacent to centres.</p> <p>The study acknowledges these anticipated development pressures and provides objectives and controls around these that seek to balance development with heritage conservation.</p>
<p><b>The Greater Newcastle Metropolitan Plan 2036</b></p>	
<p><b>Strategy 10 Create better buildings and great places</b></p> <p>Greater Newcastle’s heritage is fundamental to its cultural economy. Regeneration of heritage assets through adaptive re-use will deliver unique and exciting places, along with opportunities for investment and jobs.</p> <p>Adaptively reusing heritage buildings will help to retain the distinctiveness of Greater Newcastle’s neighbourhoods and celebrate their history and character. This is particularly important in neighbourhoods undergoing renewal and change.</p> <p>Recognising that every place and every community has its own character, the task of maintaining, renewing and creating great places will rely on local expertise, insight and participation. The stories,</p>	<p>This study recognises the heritage significance of the West Wallsend/ Holmesville areas and provides objectives and controls intended to protect and enhance this heritage significance.</p> <p>It considers conservation, adaptive re-use, new uses and alterations and additions, and provides clear and detailed guidance for how works within the revised HCA and to contributory elements can be appropriately undertaken.</p> <p>As stated in the Metropolitan Plan, this is particularly important for neighbourhoods undergoing renewal and change, and they are subject to a high degree of development pressure that can propose a direct risk to heritage significance and the integrity of streetscapes/areas of heritage significance.</p> <p>This study specifically identifies the value of the revised HCA and its character to the local community as part of the statement of significance. The heritage significance of the revised HCA contributes strongly to West Wallsend’s and Holmesville’s sense of place.</p>

Planning Document and Select Statements	Discussion
<p>experiences and expression of local residents generate the sense of place, which can meet the many and varied liveability needs of diverse communities.</p> <p><b>Actions</b></p> <p>10.1 Greater Newcastle councils will:</p> <ul style="list-style-type: none"> <li>• promote innovative approaches to the creative re-use of heritage places, ensuring good urban design preserves and renews historic buildings and places</li> </ul>	
<p><b>Strategy 11 Create more great public spaces where people come together</b></p> <p>Greater Newcastle's iconic tourist destinations and scenic landscapes from Nobbys Lighthouse to Mount Sugarloaf connect the contemporary urban environment with natural and historic landscapes. Great public spaces will preserve links to Greater Newcastle's Aboriginal, colonial, migrant and merchant heritage and culture, and create opportunities for tourism and recreation.</p> <p><b>Actions</b></p> <p>11.1 Greater Newcastle councils with support from the Department of Planning and Environment, will:</p> <ul style="list-style-type: none"> <li>• identify, protect and celebrate Aboriginal cultural heritage, historic heritage and maritime heritage.</li> </ul>	<p>As above.</p>

Planning Document and Select Statements	Discussion
<b>Ministerial Directions under Section 9.1(2) of the Environmental Planning and Assessment Act</b>	
<p><b>1.1 Implementation of Regional Plans</b></p> <p>(1) The objective of this direction is to give legal effect to the vision, land use strategy, goals, directions and actions contained in Regional Plans.</p> <p>(4) Planning proposals must be consistent with a Regional Plan released by the Minister for Planning.</p> <p>(5) A planning proposal may be inconsistent with the terms of this direction only if the relevant planning authority can satisfy the Secretary of the Department of Planning and Environment (or an officer of the Department nominated by the Secretary), that the extent of inconsistency with the Regional Plan:</p> <ul style="list-style-type: none"> <li>(a) is of minor significance, and</li> <li>(b) the planning proposal achieves the overall intent of the Regional Plan and does not undermine the achievement of its vision, land use strategy, goals, directions or actions.</li> </ul>	<p>It is acknowledged that components of this Study are not directly consistent with regional planning documents/strategies/plans, particularly in terms of development density, vertical additions, and scale of development (height controls).</p> <p>In their current configuration, these documents/strategies/plans do not seek to protect or enhance the heritage significance of the revised HCA, as the predominant focus of these documents is on facilitating development and change.</p> <p>In response to this, the revised DCP controls and LEP amendments presented in this study are intended to ensure that new development (including alterations and additions) within the HCA is undertaken in a way that protects, conserves and respects its identified heritage significance. Increasing the density and scale of development within the HCA poses a direct and significant risk to its integrity and significance and is not appropriate to its identified heritage values.</p> <p>More intensive and higher density development can still occur within the HCA, provided that it is designed with regard for the heritage significance of the area, its streetscapes, and associated contributory elements. The proposed revisions and amendments predominately seek to limit the verticality of development/additions, but do not significantly limit horizontal development where this maintains the streetscape presentation of contributory elements and the impression of a predominant low scale of development from the public domain.</p> <p>This can be achieved through locating additions to the rear of existing dwellings, utilising underling topography where appropriate and considering lines of sight from the public domain (e.g., ensuring that multiple storey additions or new dwellings to the rear of existing dwellings are not visible from the public domain). Clear and detailed guidance in this regard is provided within the revised DCP controls.</p>
<p><b>1.4 Site Specific Provisions</b></p> <p>(1) The objective of this direction is to discourage unnecessarily restrictive site-specific planning controls.</p>	<p>Refer above.</p>



Planning Document and Select Statements	Discussion
<p><b>3.2 Heritage Conservation</b></p> <p>(1) The objective of this direction is to conserve items, areas, objects and places of environmental heritage significance and indigenous heritage significance.</p> <p>(4) A planning proposal must contain provisions that facilitate the conservation of:</p> <ul style="list-style-type: none"> <li>(a) items, places, buildings, works, relics, moveable objects or precincts of environmental heritage significance to an area, in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item, area, object or place, identified in a study of the environmental heritage of the area,</li> <li>(b) Aboriginal objects or Aboriginal places that are protected under the National Parks and Wildlife Act 1974, and</li> <li>(c) Aboriginal areas, Aboriginal objects, Aboriginal places or landscapes identified by an Aboriginal heritage survey prepared by or on behalf of an Aboriginal Land Council, Aboriginal body or public authority and provided to the relevant planning authority, which identifies the area, object, place or landscape as being of heritage significance to Aboriginal culture and people.</li> </ul>	<p>This study responds directly to this Ministerial Direction by:</p> <ul style="list-style-type: none"> <li>• encouraging the protection and conservation of the heritage significance of the revised HCA and contributory elements contained therein</li> <li>• providing greater clarity and direction for infill development and alterations and additions within the revised HCA to ensure that new development occurs in a manner that is sympathetic, complementary and appropriate</li> <li>• acknowledging other relevant planning documents/strategies/plans and identifying where and how these fail to adequately protect and conserve the heritage significance of the revised HCA, and where they encourage and support development outcomes that pose a direct risk to this significance.</li> </ul>
<p><b>6.1 Residential Zones</b></p> <p>(1) The objectives of this direction are:</p> <ul style="list-style-type: none"> <li>(a) to encourage a variety and choice of housing types to provide for existing and future housing needs,</li> <li>(b) to make efficient use of existing infrastructure and services and ensure that new housing has appropriate access to infrastructure and services, and</li> </ul>	<p>It is acknowledged that the objectives and controls presented in this study, along with the proposed LEP amendments, do place restrictions on development within the revised HCA.</p> <p>However, the intent of these objectives, controls and LEP amendments is first and foremost to protect, conserve and enhance the heritage significance of the place, and contributory elements contained therein.</p> <p>Existing land zoning and height controls, as well as the majority of relevant planning documents, plans and strategies, do not adequately consider the identified heritage significance of revised HCA and propose objectives and actions that pose direct risks to this significance. This is particularly the</p>

Planning Document and Select Statements	Discussion
<p>(c) to minimise the impact of residential development on the environment and resource lands.</p> <p>(5) A planning proposal must, in relation to land to which this direction applies:</p> <p>(b) not contain provisions which will reduce the permissible residential density of land.</p> <p>(6) A planning proposal may be inconsistent with the terms of this direction only if the relevant planning authority can satisfy the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General) that the provisions of the planning proposal that are inconsistent are:</p> <p>(b) justified by a study prepared in support of the planning proposal which gives consideration to the objective of this direction, or</p> <p>(c) in accordance with the relevant Regional Strategy, Regional Plan or Sub-Regional Strategy prepared by the Department of Planning which gives consideration to the objective of this direction</p>	<p>case for documents/strategies/plans that encourage an intensification of development within the revised HCA.</p> <p>The significance of the HCA is in large part derived from its architectural character and aesthetic presentation. Contributory properties within the HCA are of a low-scale, and are generally single-dwellings that are Victorian, Federation and Inter-War in style. They are almost all single (detached) dwellings.</p> <p>Inappropriate development within the HCA includes multi-storey development, attached housing (such as townhouses), and double-storey single dwellings, and/or dwellings that are inappropriate in their form, materiality, etc. These dwelling types are inconsistent with the heritage character of the HCA, have adversely impacted its aesthetic integrity and have significantly eroded its character.</p> <p>The intent of this study is to prevent further deterioration of the heritage character and significance of the HCA, which is a direct risk posed by high density, intensive development.</p> <p>The proposed DCP revisions and LEP amendments presented in this study are adequately supported by the Working Report component of this study, which has been informed by a comprehensive technical heritage analysis of both West Wallsend and Holmesville.</p> <p>It is noted, however, that the study has been prepared with reference to relevant planning documents/strategies/plans, and with considerations for the local and regional planning objectives for both townships. As such, the study proposes development controls that balance heritage conservation with development objectives.</p> <p>It is noted that no changes are proposed to applicable land zoning classifications within the HCA, as this would result in limitations on the density of development that is achievable within the HCA in a way that conflicts directly with relevant planning objectives. By varying the height provisions within the LM LEP 2014 but maintaining the land zoning classifications, an increase in density can still be achieved in a horizontal fashion provided that this is appropriately and sympathetically designed. It is also stressed that the proposed height controls will still allow for development up to two storeys in height and only places limitations on development that exceeds two storeys in height.</p> <p>Vertical development is proposed to be minimised through the revision of the LEP height controls, and the implementation of DCP controls that limit vertical additions. This has been done because</p>

Planning Document and Select Statements	Discussion
	<p>the predominate low-scale character of the HCA contributes directly to its identified heritage character and significance.</p> <p>The study does not, however, limit horizontal development, provided that this is done in such a way as to conserve and protect identified heritage values. Examples of this within the HCA include recent alterations/additions to properties where larger-scale additions have occurred to the rear of a Contributory 1 building without adversely impacting the Contributory 1 building’s overall aesthetic presentation or identified heritage significance (as the additions have limited visibility from the public domain).</p> <p>An increase in density therefore remains achievable under the proposed LEP amendments and DCP revisions, provided that this is done with regard for the heritage significance of the HCA and contributory elements contained therein. Ultimately, this will encourage more refined and higher quality design outcomes that balance planning objectives with heritage conservation.</p>
State Environmental Planning Policies (SEPPs)	
<p>State Environmental Planning Policy (Biodiversity and Conservation) 2021</p>	<p>The proposal is consistent with the Chapter 2 Vegetation in Non-Rural Areas. Chapter 2 imposes restrictions on the removal of trees in non-rural areas with specific triggers for approval requirements to be included in DCPs and LEPs. Approval is currently required to clear, injure, remove, ringbark, cut down, top, lop or wilfully destroy and trees or native vegetation located within a Heritage Conservation Area. The proposed LEP &amp; DCP would extend these constraints to any extended areas of the revised HCA. However, the application of the Chapter 2 provisions would not extend to RU1, RU2, RU3, RU4 or E1 land within the Lake Macquarie LGA. These zones are considered under other prevailing Policy that imposes differing restrictions on the removal of trees.</p> <p>Chapter 3 Koala Habitat protection 2020 only applies to land zoned RU1, RU2 and RU3 under an LEP. The Koala SEPP 2020 imposes restriction on development within these zones that may impact on Koala habitat. The controls under the proposed LEP &amp; DCP are not inconsistent with the aims and objectives this Chapter.</p>



Planning Document and Select Statements	Discussion
	<p>The Koala habitat protection 2021 only applies to all land in the Lake Macquarie Council Area other than land zoned RU1, RU2 and RU3 under an LEP. The Koala SEPP 2021 imposes restriction on development within these zones that may impact on Koala habitat. The controls under the proposed LEP &amp; DCP are not inconsistent with the aims and objectives this chapter.</p> <p>The proposal is <b>consistent</b> with Chapter 6 Bushland in urban areas. The proposed LEP &amp; DCP does not impose any constraints or obligations on development which are inconsistent with Chapter 6.</p>
SEPP (Building Sustainability Index: BASIX) 2004 (BASIX SEPP)	The proposed LEP & DCP is <b>not inconsistent</b> with the BASIX SEPP.
SEPP (Exempt and Complying Development Codes) 2008	The proposal is <b>consistent</b> with the SEPP Exempt and Complying Development codes. Exempt and Complying development codes specifically include consideration of listed heritage items and conservation areas.
State Environmental Planning Policy (Housing) 2021	<p>The proposed LEP &amp; DCP is considered consistent with the Chapter 2 Affordable housing, as the extension of the heritage conservation area does not obstruct the development of affordable housing.</p> <p>Parts of Chapter 2 are somewhat inconsistent with the proposal as it overrides certain development standards, unless residential development is located on lands identified as a heritage item. Chapter 2 does not specifically override heritage related amenity considerations.</p> <p>The proposed LEP &amp; DCP are inconsistent with Chapter 3 Diverse Housing Part 3 and 4 as height alterations are proposed, which are inconsistent with the SEPP. Nevertheless, Division 6 Design Principles Section 99 (c) state:</p> <ul style="list-style-type: none"> <li>(c) complement heritage conservation areas and heritage items in the area, and</li> <li>(d) maintain reasonable neighbourhood amenity and appropriate residential character by— <ul style="list-style-type: none"> <li>(i) providing building setbacks to reduce bulk and overshadowing, and</li> <li>(ii) using building form and siting that relates to the site’s landform, and</li> <li>(iii) adopting building heights at the street frontage that are compatible in scale with adjacent buildings, and</li> </ul> </li> </ul>

Planning Document and Select Statements	Discussion
	<p>(iv) considering, where buildings are located on the boundary, the impact of the boundary walls on neighbours, and</p> <p>(e) set back the front building on the site generally in line with the existing building line, and</p> <p>(f) include plants reasonably similar to other plants in the street, and</p> <p>(g) retain, wherever reasonable, significant trees, and</p> <p>(h) prevent the construction of a building in a riparian zone.</p> <p>Therefore, adequate protection is afforded to HCAs and building heights. It is considered the proposal is a minor inconsistency against the Chapter.</p> <hr/> <p>The proposed LEP &amp; DCP may impose constraints on design element changes associated with aged or disability access and are somewhat inconsistent with Chapter Part 5 Housing for seniors and people with a disability. Therefore, the proposal is inconsistent with the Chapter. Nevertheless, Division 6 Design Principles Section 99 (c) state:</p> <p>(c) complement heritage conservation areas and heritage items in the area, and</p> <p>(d) maintain reasonable neighbourhood amenity and appropriate residential character by—</p> <p>(i) providing building setbacks to reduce bulk and overshadowing, and</p> <p>(ii) using building form and siting that relates to the site’s landform, and</p> <p>(iii) adopting building heights at the street frontage that are compatible in scale with adjacent buildings, and</p> <p>(iv) considering, where buildings are located on the boundary, the impact of the boundary walls on neighbours, and</p> <p>(e) set back the front building on the site generally in line with the existing building line, and</p> <p>(f) include plants reasonably similar to other plants in the street, and</p> <p>(g) retain, wherever reasonable, significant trees, and</p> <p>(h) prevent the construction of a building in a riparian zone.</p>

Planning Document and Select Statements	Discussion
	<p>Therefore, adequate protection is afforded to HCAs and building heights. Additionally, Part 5 specifically overrides certain development standards in any DCP that may be inconsistent with HSPD SEPP. Accordingly, any potential inconsistency between the proposed DCP and the Chapter is overridden by the provisions within the SEPP. It is considered the proposal is a minor inconsistency against the Chapter.</p> <p>The proposal is consistent with aim of Chapter 3 Diverse 3 Part 8 Manufactured home estates. The proposed LEP &amp; DCP does not impose any constraints or obligations on development which are inconsistent with the Part, which specifically identifies that the council must be satisfied that a proposed manufactured home estate will not have an adverse effect on a conservation area or heritage item.</p> <p>The proposal is consistent with aim of Chapter 3 Part 9 Caravan parks. The proposed LEP &amp; DCP does not impose any constraints or obligations on development which are inconsistent with the Chapter. The Chapter requires consideration of potential impacts to the heritage conservation area or particular heritage items.</p>
State Environmental Planning Policy (Industry and Employment) 2021	The proposed LEP & DCP includes controls on signage and advertising which are consistent with the desired amenity and visual character of the land. This is consistent with the requirements of Chapter 3 Advertising and signage.
State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development (SEPP 65)	The proposed LEP & DCP is consistent with aim of SEPP No. 65. The proposed DCP does not impose any constraints or obligations on development which are inconsistent with SEPP 65.
State Environmental Planning Policy (Precincts—Regional) 2021	The proposed LEP & DCP does relate to land within an Activation Precinct and therefore the Chapter 3 Activation Precincts does not apply to the land to which the proposed DCP applies.
State Environmental Planning Policy (Resilience and Hazards) 2021	<p>The proposal is considered consistent with Chapter 2 Coastal management 2018; however, any future development applications will require assessment against the Chapter 3 of the SEPP if lands are located within the coastal zone. The coastal zone is defined –</p> <p>...as area of land comprised of the following coastal management areas,</p> <p>(a) the coastal wetlands and littoral rainforests area</p>



Planning Document and Select Statements	Discussion
	<p>(b) the coastal vulnerability area</p> <p>(c) the coastal environment area</p> <p>the coastal use area</p> <p>The proposal is considered consistent with the Chapter 2 Coastal Management; however, any future development applications will require assessment against the SEPP if lands are located within the coastal zone. The coastal zone is defined –</p> <p>...as area of land comprised of the following coastal management areas,</p> <p>(d) the coastal wetlands and littoral rainforests area</p> <p>(e) the coastal vulnerability area</p> <p>(f) the coastal environment area</p> <p>(g) the coastal use area.</p>
	<p>The proposal is consistent with aim of Chapter 3 Hazardous and offensive development. The proposed LEP &amp; DCP does not impose any constraints or obligations on development which are inconsistent with the Chapter.</p>
	<p>The proposal is consistent with aim of Chapter 4 Remediation of land. The proposed LEP &amp; DCP does not impose any constraints or obligations on development which are inconsistent with the Chapter.</p>
<p>State Environmental Planning Policy (Resources and Energy) 2021</p>	<p>Chapter 2 Mining, petroleum production and extractive industries provides for the demolition of certain buildings to be exempt development if located on the site of an approved mine however this provision does not apply to buildings within a heritage conservation area.</p> <p>Other than as noted above, the proposed LEP &amp; DCP is consistent with the Chapter 2 and does not impose any additional restrictions on mining related development relative to the existing heritage arrangements.</p>

Planning Document and Select Statements	Discussion
<p>State Environmental Planning Policy (Transport and Infrastructure) 2021</p>	<p>The proposal is consistent with the Chapter 2 Infrastructure, as development can still occur within the heritage conservation area with appropriate heritage assessment/s being undertaken and in accordance with:</p> <p>Clause 2.11 Consultation with councils – development with impacts on local heritage</p> <p>(1) This clause applies to development carried out by or on behalf of a public authority if the development—</p> <ul style="list-style-type: none"> <li>(a) is likely to affect the heritage significance of a local heritage item, or of a heritage conservation area, that is not also a State heritage item, in a way that is more than minor or inconsequential, and</li> <li>(b) is development that this Policy provides may be carried out without consent.</li> </ul> <p>(2) A public authority, or a person acting on behalf of a public authority, must not carry out development to which this clause applies unless the authority or the person has—</p> <ul style="list-style-type: none"> <li>(a) had an assessment of the impact prepared, and</li> <li>(b) given written notice of the intention to carry out the development, with a copy of the assessment and a scope of works, to the council for the area in which the heritage item or heritage conservation area (or the relevant part of such an area) is located, and</li> <li>(c) taken into consideration any response to the notice that is received from the council within 21 days after the notice is given.</li> </ul>
	<p>The proposal is consistent with Chapter 3 Educational establishments and childcare facilities. Development for educational and childcare facilities is permitted with consultation with local council as per Clause 3.9:</p> <p>‘Consultation with councils—development with impacts on local heritage</p> <p>(1) This clause applies to development carried out by or on behalf of a public authority if the development—</p> <ul style="list-style-type: none"> <li>(a) is likely to affect the heritage significance of a local heritage item, or of a heritage conservation area, that is not also a State heritage item in a way that is more than minimal, and</li> </ul>

Planning Document and Select Statements	Discussion
	<p>(b) is development that this Policy provides may be carried out without development consent.</p> <p>(2) a public authority, or a person acting on behalf of a public authority, must not carry out development to which this clause applies unless the authority or the person has—</p> <p>(a) had an assessment of the impact prepared, and</p> <p>(b) given written notice of the intention to carry out the development, with a copy of the assessment and a scope of works, to the council for the area in which the local heritage item or heritage conservation area (or the relevant part of such an area) is located.</p>



## 8.0 Notes

### 8.1 Land Zoning Changes

As part of the preparation of this report, LMCC have requested that changes to existing land zoning classifications within the revised HCA boundaries be considered. Existing land zoning classifications within the revised HCA boundaries are shown in **Figure 8.1**.

Changing the land zoning classifications within a local environmental plan is a complex and lengthy process that can result in inflexible outcomes, particularly within areas that are likely to experience increased development pressures in the future.

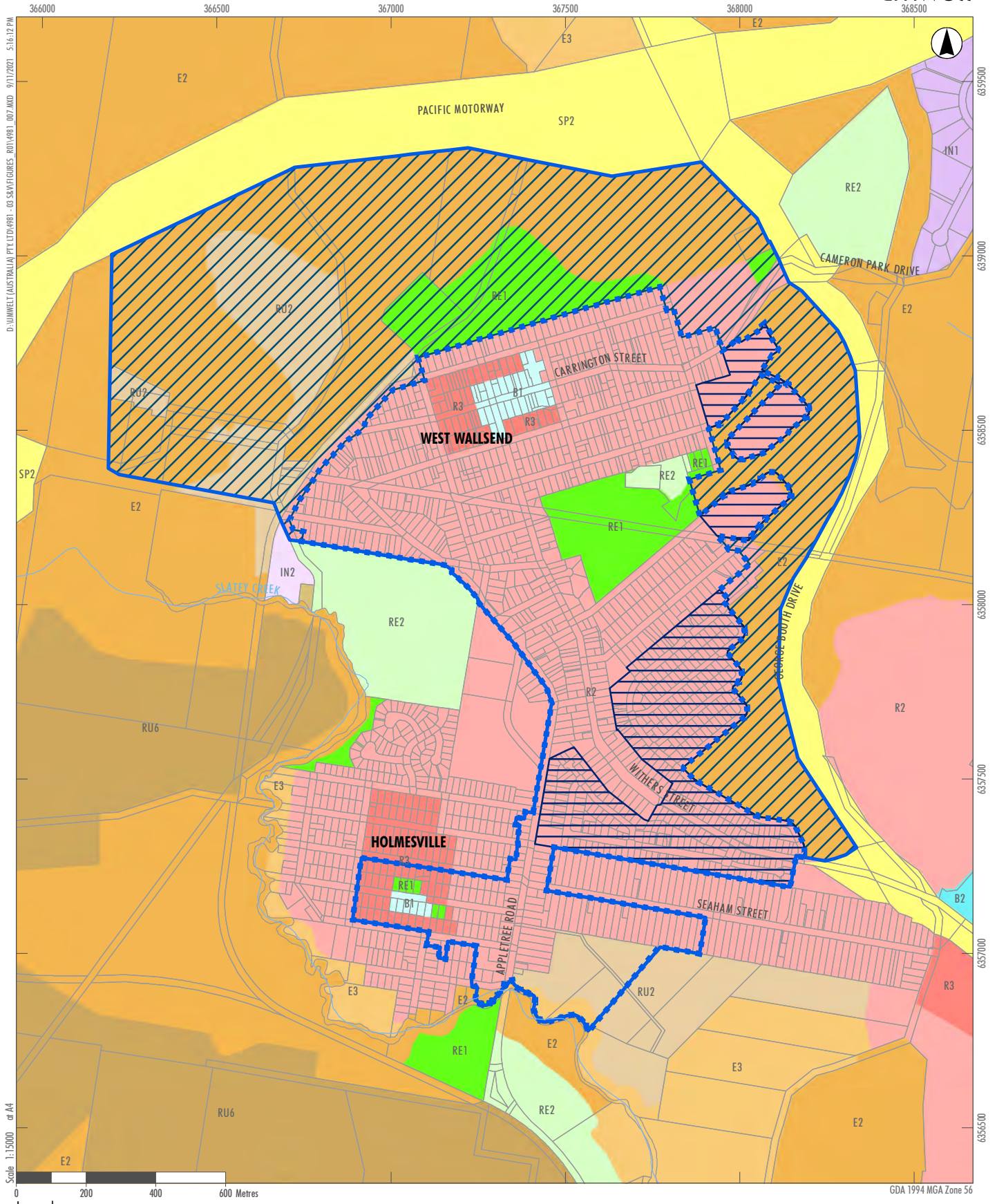
Professional experience in working in heritage conservation areas in other LGA's around New South Wales has demonstrated that DCP controls can be enforced in lieu of corresponding LEP controls regarding use and development typologies, where Council's heritage officers are confident that it is appropriate to do so.

As such, the approach presented in this report recommends that the DCP be revised to ensure that the use of buildings be based on their heritage significance, where it is clear that the use of a building contributes to its heritage significance, and/or that a change in use would result in an unacceptable degree of physical change to a building. It has also been written to ensure that the predominately residential character of the revised West Wallsend/Holmesville HCA is maintained and reinforced, along with the commercial character of the principal commercial axis of each township:

- in West Wallsend, this is defined by the intersection of Withers and Carrington Streets
- in Holmesville, this is defined by the intersection of George and Charlotte Streets

Although the applicable zoning may in some areas allow a greater density of development than would be considered appropriate within the HCA (e.g., where R3 zoning applies at the centre of both townships to encourage multi-dwelling housing in areas where single dwellings would be more historically appropriate), this has been mitigated through the application of revised height controls within the LEP and corresponding development controls and guidelines within the DCP.

This approach is recommended as it negates the need to make formal changes to the LEP with regards to land zoning classifications. It also allows Council to exercise a greater degree of discretion when assessing development applications. The intention is to effectively manage, rather than inflexibly restrict, contemporary development within the HCA. This also means that the LEP will not conflict with existing strategies or documents including the *Lake Mac Housing Strategy*.



- Legend**
- Proposed Revised HCA Boundary
  - Landscape Buffer Zone
  - Appletree Grove Estate
- Zoning**
- B1 Neighbourhood Centre
  - B2 Local Centre
  - E2 Environmental Conservation
  - E3 Environmental Management
  - IN1 General Industrial
  - IN2 Light Industrial
  - R2 Low Density Residential
  - R3 Medium Density Residential
  - RE1 Public Recreation
  - RE2 Private Recreation
  - RU2 Rural Landscape
  - RU4 Primary Production Small Lots
  - RU6 Transition
  - SP2 Infrastructure

FIGURE 8.1

Revised HCA Boundaries in relation to applicable land zoning

## 8.2 Archaeology (Non-Aboriginal)

The brief for this project also involved the identification of archaeologically sensitive areas.

The identification of potential archaeologically sensitive sites, as detailed in **Table 8.1**, has largely been sourced from previous studies and/or based on clear and definitive historical research. The DCP revisions proposed in this study include objectives and controls specific to these potential archaeologically sensitive areas, though it is noted that the majority of them are also protected by individual local heritage listings. In addition to this, the broader Lake Macquarie DCP includes general provisions for the management and protection of both historical and Aboriginal archaeology within the Lake Macquarie LGA.

Some of the previously identified potential archaeologically sensitive sites are located outside of the revised HCA and in association with former mines/other industrial enterprises, and therefore will not be subject to the revised DCP. Where this is the case, this has been identified in **Table 8.1**.

The location of these potential archaeologically sensitive sites is shown in **Figure 8.2**.

**Table 8.1 Potential archaeologically sensitive sites (non-Aboriginal) identified as part of this study**

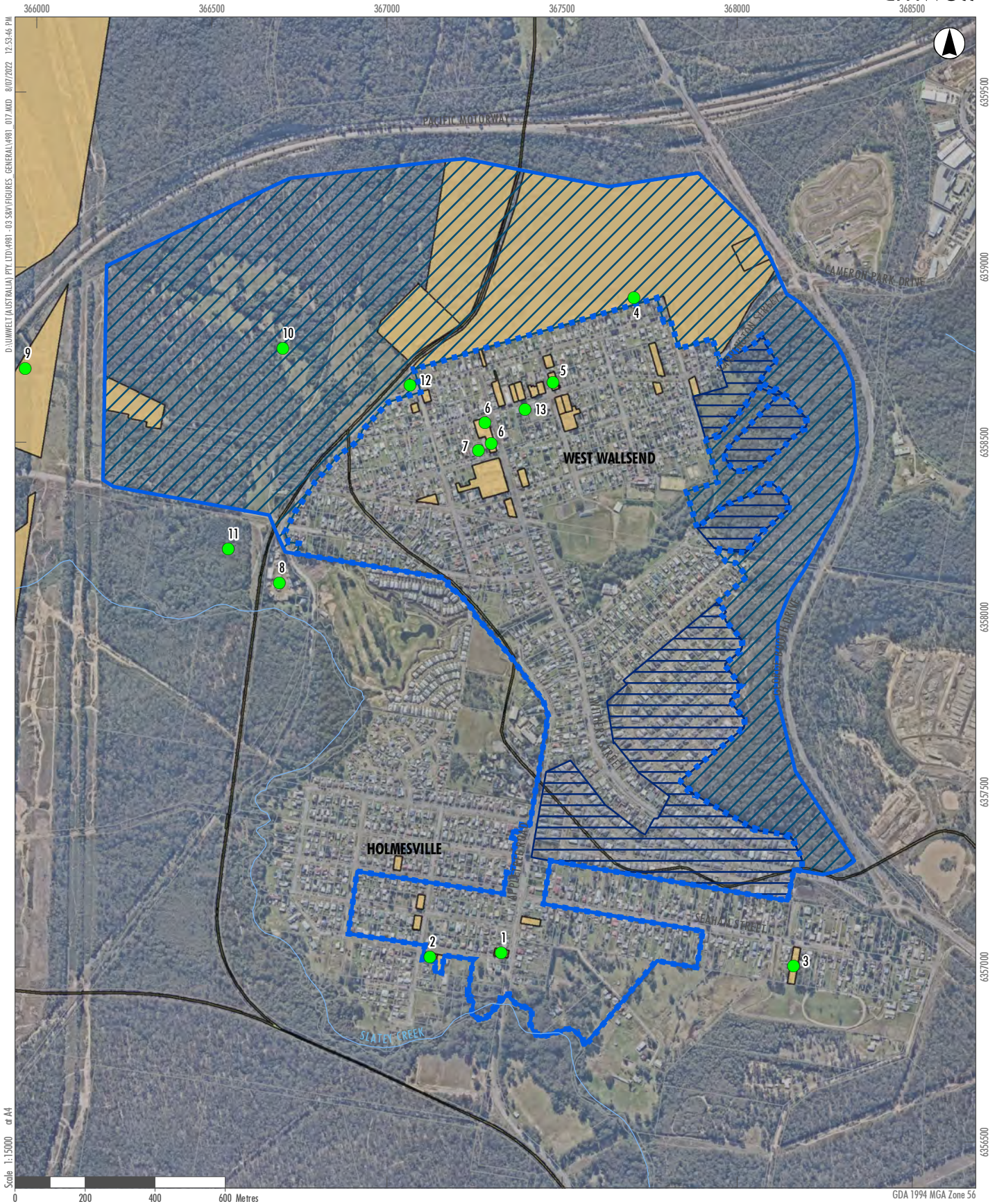
Address/Location	Description
<b>Holmesville</b>	
Previous location of Friths Brickworks, southwest corner of Appletree Road and William Street <b>Mapping Reference: 1</b>	Previous studies note that this site has no structural remains and has been previously cleared. It was owned by Richard Frith who was married to a daughter of Joseph Holmes, the founder of Holmesville. Bricks manufactured at the site were used in the construction of several local homes during the early settlement of the area.  Previous study states that the level of archaeological potential is unknown.  This site is not subject to any heritage listings.
20 Charlotte Street <b>Mapping Reference: 2</b>	Identified in previous studies as a former police station constructed in 1895 by Joseph Holmes. The site is also reported to contain a former mine shaft (since filled).  This site is listed as a local heritage item (Item ID 101) on the Lake Macquarie LEP (2014).
32 Seaham Street <b>Mapping Reference: 3</b>	Previous studies note that this potentially contains the oldest house in the region, dating to 1870's–1880's. The studies note that the archaeological potential of this site requires further investigation.  This site is listed as a local heritage item (Item ID 105) on the Lake Macquarie LEP (2014).
<b>West Wallsend</b>	
No. 1 Colliery off Wilson Street <b>Mapping Reference: 4</b>	Previous studies note that this site has the potential to contain structural remains relating to the colliery works at West Wallsend. Prior assessment noted that the site may contain the most extensive 19 <sup>th</sup> century colliery ruins in the region.  This site is listed as a local heritage item (Item ID 220) on the Lake Macquarie LEP (2014) (Item Type – Archaeological-Terrestrial).



Address/Location	Description
47 Carrington Street <b>Mapping Reference: 5</b>	<p>Previous studies noted that further assessment of the building's fabric might reveal archaeological information about early local building materials and techniques, and about its historical uses as a shop/surgery. The building was constructed for C. H. Thomas in 1888, leased to the West Wallsend Co-Op Society in 1891 and then bought by Dr Hocken in 1893 as the region's first doctor's surgery.</p> <p>This site is listed as a local heritage item (Item ID 197) on the Lake Macquarie LEP (2014).</p>
West Wallsend Co-Op, 6-8 Withers Street and 76a Carrington Street <b>Mapping Reference: 6</b>	<p>This site was identified in previous studies as a potential archaeological site as the site of the former Co-Operative Store constructed from 1906–1927 (extant). The site is directly associated with the West Wallsend Co-Operative Society, which was founded in 1891.</p> <p>This site is listed as a local heritage item (Item ID 205) on the Lake Macquarie LEP (2014).</p>
43 Brown Street <b>Mapping Reference: 7</b>	<p>Identified in previous studies as the site of a former police station constructed in 1888. It was also identified as the potential location of a former Methodist Manse during the 1930s or 40s.</p> <p>The level of archaeological potential of the site was previous assessed as unknown.</p> <p>This site is not subject to any heritage listings.</p>
Previous location of Bunya Pine House, southwest side off Boundary Road <b>Mapping Reference: 8</b>	<p>Identified in previous studies as the former home of Mr. McGeachie, the first manager of the West Wallsend No. 1 Colliery. The original house has been demolished, though mature pine trees associated with the former house remain.</p> <p>The former studies recommended that the potential for the former house site, along with any associated archaeological material, be considered.</p> <p>This site is not subject to any heritage listings.</p>
Mount Sugarloaf No. 1 Colliery <b>Mapping Reference: 9 (located outside of revised HCA)</b>	<p>Mount Sugarloaf No.1 Colliery is located at two levels on a steep hillside, on the south face of Sugarloaf Range. The Colliery was initially established in 1885 as a small un-named tunnel dug into the southern side of the Sugarloaf Range. In 1949 the lease of the site was obtained by a local partnership and then passed onto the Mount Sugarloaf Collieries Pty Ltd. The mine closed in 1978, after producing two million tons of coal.</p> <p>Prior heritage studies have identified that the site has the potential to contain structural remains associated with the Colliery and have recommended the site be preserved as an 'archaeological area'.</p> <p>This site is listed as a local heritage item (Item ID 213) on the Lake Macquarie LEP (2014) (Item Type – Archaeological-Terrestrial).</p>
Joseph Holmes Tunnel <b>Location Unknown (indicative information suggests it is located outside the revised HCA and to the northwest of the Pacific Motorway)</b>	<p>The specific location of this site is not known but is described in previous studies as being an abandoned early coal mine with an exploratory shaft and tunnel system.</p> <p>Previous studies also note the tunnel is likely associated with Joseph Holmes, and state that the archaeological potential level of the site is unknown.</p> <p>This site is not subject to any heritage listings.</p>

Address/Location	Description
Ladysmith Abandoned Town <b>Mapping Reference: 10</b>	Though the specific location of this site is unknown, previous studies note that it is located to the northwest of Ladysmith Road, at the creek crossing. It is described as the site of an early settlement established in 1888 and abandoned soon after, circa. 1900. The archaeological potential of the site is unknown.  This site is not subject to any heritage listings.
Seaham No. 3 Colliery <b>Located Outside the Revised HCA (located northwest of the intersection of Fairley and O'Donnelltown Roads)</b>	Recorded in previous studies as the site of an early mine that was in operation c. 1923–1945. It was noted that the site has the potential to contain structural remains, though portions of the site have previously been cleared. The archaeological potential of the site is unknown.  This site is not subject to any heritage listings.
Mafeking and Reynolds Brickworks <b>Mapping Reference: 11 (indicative only)</b>	Identified in previous studies as the site of a former brickworks and hamlet constructed in 1900. Reynolds bricks were used in the early settlement of the region. Mafeking reportedly contained six to seven houses near Slatey Creek and was established in 1888. The current condition of the site, as well as its level of archaeological potential, is not known.  This site is not subject to any heritage listings.
West Wallsend Railway Station, corner of Wilson and Laidley Street <b>Mapping Reference: 12</b>	Identified as a former railway station and tramway terminal.  The site is associated with local heritage item (Item ID 92) on the Lake Macquarie LEP (2014) (Item Type – Archaeological-Terrestrial).
Former Outdoor Cinema, Carrington Street <b>Mapping Reference: 13</b>	Believed to have been located at 64 Carrington Street, this was one of the first permanently built cinemas in regional NSW. The archaeological potential of the site is unknown as the site has been cleared (and remains vacant).  This site is not subject to any heritage listings.





- Legend**
- Proposed Revised HCA Boundary
  - Locally Listed Heritage Items
  - Potential Archaeological Site
  - Landscape Buffer Zone
  - Appletree Grove Estate

FIGURE 8.2

Potential Archaeological Sites

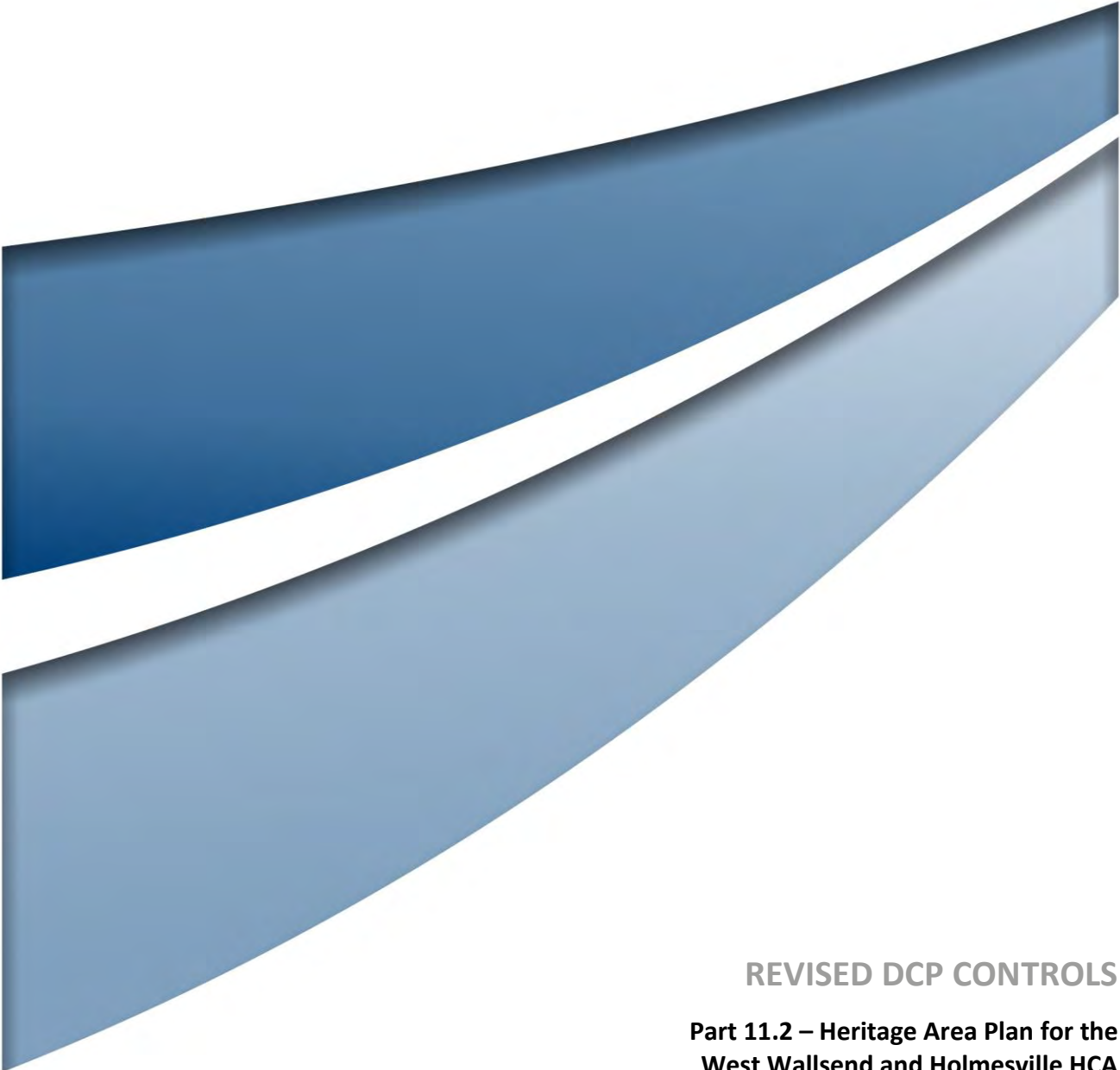


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## REVISED DCP CONTROLS

**Part 11.2 – Heritage Area Plan for the  
West Wallsend and Holmesville HCA**



## Revised DCP Controls

Part 11.2 – Heritage Area Plan for the  
West Wallsend and Holmesville HCA

**DRAFT**

September 2024



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## Appendices

Appendix 1	Table of contribution gradings in relation to addresses within the Revised HCA
Appendix 2	Building Assessment Sheets (Inventory Sheets)

## 1.0 Introduction

This is Part 11.2 of the Lake Macquarie Development Control Plan (DCP) 2014 (LM DCP 2014), which forms part of Part 11, 'Heritage Area Plans', of the DCP.

This part contains objectives and controls for development within the West Wallsend and Holmesville HCA. The West Wallsend and Holmesville HCA is identified in Schedule 5 of the LM LEP 2014. It is recognised to have heritage significance for its historical, aesthetic and social values.

Properties and buildings within the West Wallsend and Holmesville HCA have been graded based predominately on their aesthetic presentation, but also based on their historical context. Contribution gradings for the HCA are provided for reference in **Figure 2**.

It is also noted that a number of locally listed heritage items, as identified in Schedule 5 of the Lake Macquarie LEP 2014, are located within the West Wallsend and Holmesville HCA. Within Holmesville, this includes the 'Holmesville Hotel' (Item ID 103), the 'Post Office Store' (Item ID 102) and the 'former Police Station' (Item ID 101). Within West Wallsend, heritage items include the 'Worker's Club' (Item ID 199), the 'Post Office and residence' (Item ID 201), the 'Clyde Inn Hotel' (Item ID 202) and the 'West Wallsend Co-Op' (Item ID 205).

### Conservation Philosophy

This section of the LM DCP 2014 adopts the conservation philosophy embodied in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter).

The Burra Charter is widely accepted by Government agencies at all levels and by private industry as the standard philosophy for heritage conservation practice in Australia. The Charter sets down principles, processes and practices for the conservation of significant places.

Note: The term 'original' as used throughout the DCP refers to any significant fabric. This may be from a range of historic periods.

## 1.1 Land to Which this Plan Applies

The West Wallsend and Holmesville HCA is identified in the LM LEP 2014 and is located approximately 17 km west of the Newcastle central business district, and approximately 7 km west of Glendale. The West Wallsend and Holmesville HCA is a site of important heritage significance. This Area Plan contains objectives and controls for development within the West Wallsend and Holmesville HCA, which will protect and enhance the recognised significance of the place by retaining and enhancing features that characterise West Wallsend and Holmesville, and contribute to their collective significance. Where the provisions of this Area Plan are inconsistent with the provisions of any other part of the LM DCP 2014, the provisions of this Area Plan take precedence.

This Area Plan applies to all of the land shown within the boundary in **Figure 1**.

## 1.2 Development to Which this Section Applies

This section applies to development that requires consent under LM LEP 2014.

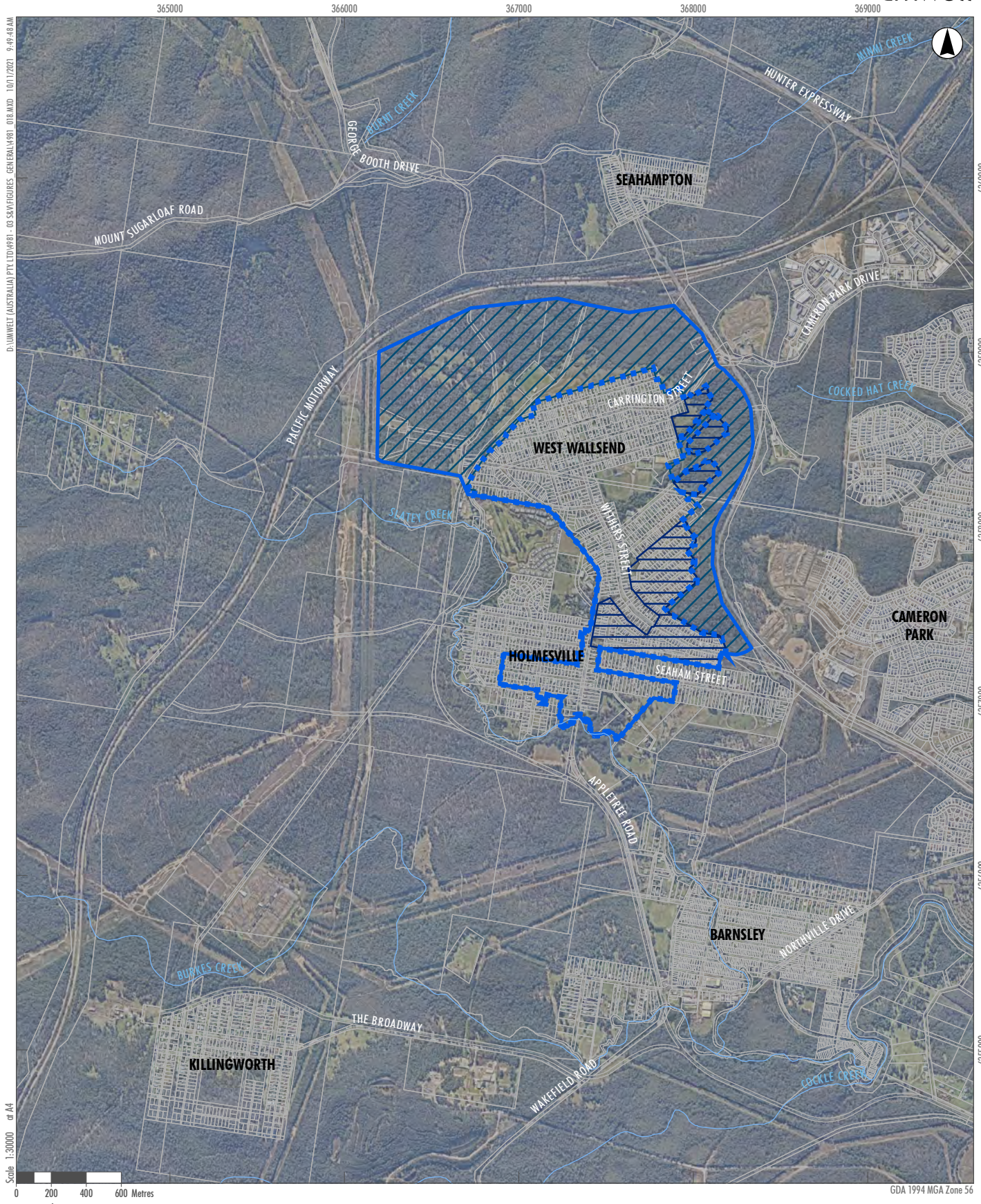


## 1.3 Limitations

The following limitations apply to this study:

- The Building Assessment sheets have been prepared based on external visual inspection only. No internal inspections of privately-owned properties were undertaken as part of this study.
- The Building Assessment sheets are predominately informed by high-level historical research only, in accordance with project scope and budget constraints. Where additional information is provided by property owners as part of any future public consultation, the Building Assessment sheets will be amended to reflect this (where relevant).
- This study does not consider Aboriginal cultural heritage in detail (refer to **Section 2.6**). Further work is recommended to better understand the Aboriginal cultural heritage and shared values of the West Wallsend and Holmesville Heritage Conservation Area, with such work being outside the scope of this study.



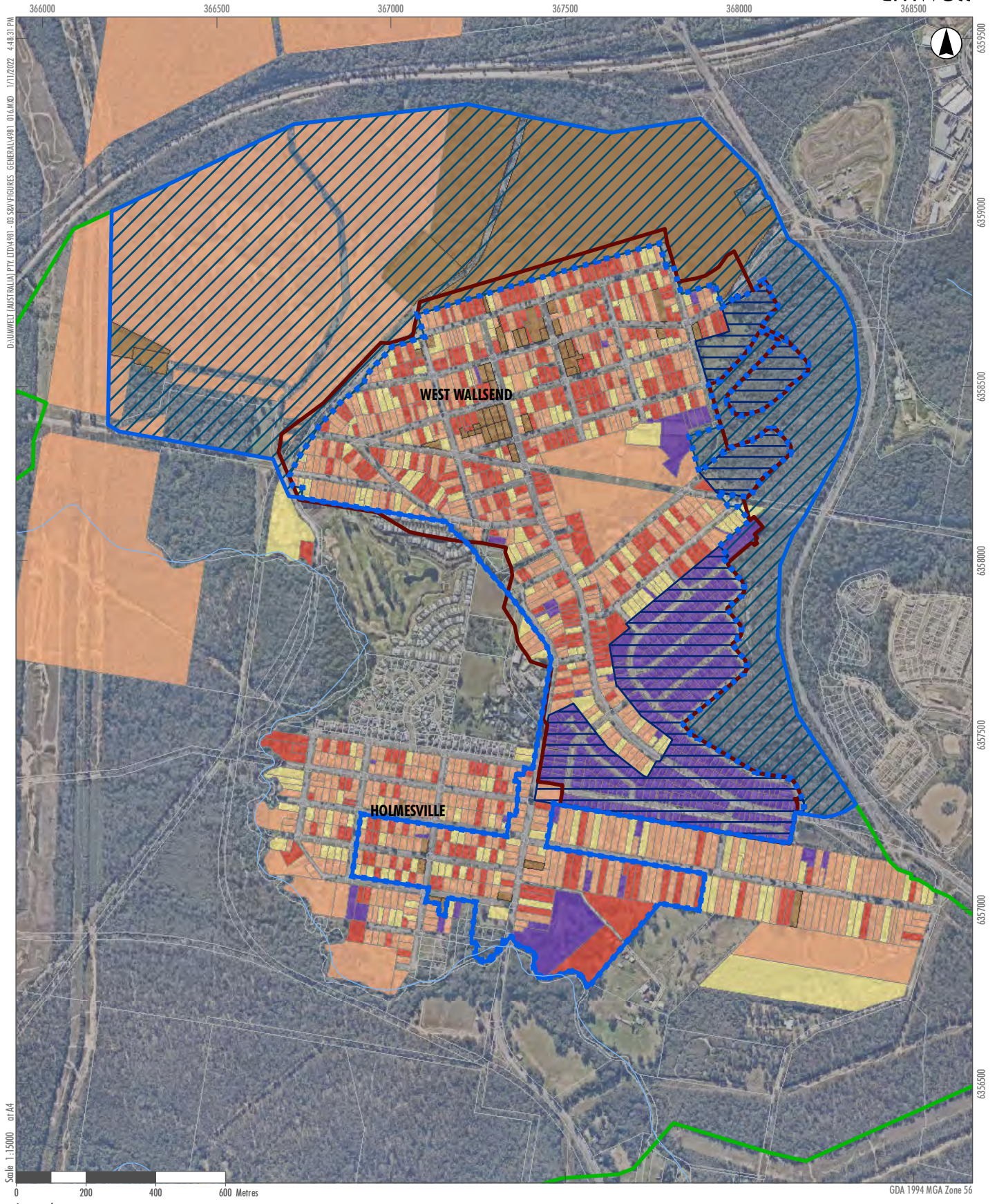


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- Legend**
- Proposed Revised HCA Boundary
  - Landscape Buffer Zone
  - Appletree Grove Estate

**FIGURE 1**  
**Area to which Plan Applies**





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**Legend**

- |   |   |
|---|---|
| Proposed Revised HCA Boundary                         | <b>Level of Heritage Significance Grading</b> |
| West Wallsend/Holmesville Heritage Precinct           | Contributory 1                                |
| West Wallsend Conservation Area                       | Contributory 2                                |
| Contributory to Wider Setting (Landscape Buffer Zone) | Non-Contributory                              |
| Appletree Grove Estate                                | Not Assessed                                  |
|   | Locally Listed Heritage Item                  |

**FIGURE 2**

**Contribution Gradings Across the West Wallsend/Holmesville Heritage Conservation Area**



## 1.4 Objectives

The objectives of this part are to:

- O1 Facilitate the implementation of the objectives and controls relating to heritage conservation contained within the LM LEP 2014.
- O2 Acknowledge and conserve the heritage significance, landscape setting and visual setting of the West Wallsend and Holmesville HCA, and provide guidelines and controls that are intended to protect this heritage significance and setting.
- O3 Encourage the ongoing conservation of heritage items and contributory items (graded as Contributory 1) within the HCA.
- O4 Ensure that development and design outcomes are sympathetic to the heritage significance of the HCA and the individual buildings contained therein, including their settings.
- O5 Encourage change that will remove non-contributory, uncharacteristic or detracting items.

## 1.5 Relationship to Other Parts of the DCP

Part 11.2 of the LM DCP 2014 should be read in conjunction with the other parts of the DCP that are relevant to the development proposal, including but not limited to:

- Part 3** Development within Residential Zones
- Part 4** Development in Business Zones
- Part 5** Development in Industrial, Business Park & Infrastructure Zones
- Part 9** Specific Land Uses – this part contains sections on multi-dwelling housing, residential flat buildings, secondary dwellings and housing on small and narrow lots

## 2.0 Existing Character

### 2.1 Statement of Significance

Both West Wallsend and Holmesville were established in response to the commencement of mining operations in the local area, including those of the West Wallsend Coal Company and the Monkwearmouth Coal Company. The two townships have a distinct historical relationship, and are collectively demonstrative of the pattern of European settlement and development that occurred in response to the growth of mining industry in the area. Collectively, West Wallsend and Holmesville provide a relatively intact and highly significant example of interrelated late nineteenth and early twentieth century residential and commercial development within the Lake Macquarie Local Government Area. Their setting and relative isolation from surrounding development is unique, and highly aesthetically distinctive; this shared setting contributes strongly to a sense of place for both townships.

The township of West Wallsend is a good and largely intact example of a late nineteenth century mining town, which was specifically planned and developed by the West Wallsend Coal Company to house its workers. The township was large enough to support many commercial and community services, and acted as a centre for smaller villages in the district. One of these villages, Holmesville, was similarly established in response to housing demands associated with local mining operations; land to the west of Appletree Road was subdivided and sold from 1898 onwards, while that to the east (predominately comprising Seaham Street) having been subdivided and developed from 1905 onwards. Both West Wallsend and Holmesville are representative of the historical phases in which they were developed, but also of the increasingly common interaction that occurs between historical townships and contemporary development pressures.

The historical character and aesthetic significance of both West Wallsend and Holmesville is defined by their residential dwellings, commercial buildings, and distinct bushland settings, noting that the commercial precinct of West Wallsend is considerably more intact, larger and grander than that of Holmesville. However, these differences between the commercial offerings of the two towns are representative of West Wallsend's role as the 'parent' township, and Holmesville's role as the 'satellite' township.

#### **West Wallsend**

West Wallsend's built form is visible from a number of external vantage points (particularly the elevated slopes to the east), and its mountainous, bushland setting is aesthetically distinctive and significant, and contributes strongly to the township's character and presentation. The northern/northwestern approach into West Wallsend (via George Booth Drive) is particularly notable, descending from a high point with a clear transition from rural to urban.

The residential and commercial buildings of West Wallsend form cohesive and aesthetically distinctive streetscapes. In particular, Carrington and Withers Streets contain concentrations of commercial buildings of recognised heritage significance, all of which date to the earliest phase of the township's development (1885–1910). These buildings are representative of the period in which they were constructed, and also reflect the prosperity of the early mining town. These buildings are largely intact, and provide some of the best examples of grand late nineteenth and early twentieth century commercial and community buildings within the Lake Macquarie LGA.

The residential buildings of West Wallsend are similarly representative of the architectural style and character of residential development that typified the late-Victorian and Edwardian periods. Despite pockets of unsympathetic infill development, the architectural character of the residential properties of West Wallsend is relatively cohesive, and contributes significantly to the overall heritage significance of the suburb. The substantial number of miners' cottages that have been retained throughout the suburb create a distinct aesthetic character that complements the well-preserved commercial precinct of the same period.

The intactness of the township and surrounding suburb makes West Wallsend a unique and valuable example of an early local township that was established and developed through coal mining. By extension, it is strongly representative of the establishment and growth of towns, population and commerce in the Hunter Region.

West Wallsend is regarded as the best preserved residential and commercial historical precinct within the Lake Macquarie local government area, despite discrete areas of modern and unsympathetic development that has occurred within and in proximity to the township.

### **Holmesville**

Relative to its size, Holmesville contains a number of intact residential buildings that date from the late 1800s onwards, and which are clearly representative of the historical period in which they were constructed. Though it has less overall integrity than West Wallsend, Holmesville remains a key example of a satellite township that was developed in direct response to a specific industry (mining). Holmesville's sense of place, whilst compromised in discrete areas by contemporary development, has largely been retained intact. The suburb has strong and clear connections to the Holmes family, who are notable local historical figures that contributed significantly to the local area's historical development.

Within Holmesville, significant view lines to the Sugarloaf Range to west are available from a number of streetscapes, including Earl, St Helen, George and William Streets. Both townships are based around basic grid street patterns, which have remained largely unchanged since its initial development in the late 1800s and early 1900s.

The commercial axis of Holmesville, though less grand than that of West Wallsend, also retains a high degree of integrity and illustrates well the original design intent of Joseph Holmes. Through its corner location and relatively grand scale, the Holmesville Hotel presents as a landmark building within the township, and in concert with the former Post Office and Store, Community Hall and community garden, contributes to a defining central axis located at the intersection of George and Charlotte Streets.

## **2.2 Aboriginal Cultural Heritage and Archaeology**

Heritage NSW is primarily responsible for regulating the management of Aboriginal cultural heritage in New South Wales under the *National Parks and Wildlife Act 1974* (NPW Act). The NPW Act is accompanied by the *National Parks and Wildlife Regulation 2019* (the Regulation) and a range of codes and guides including the *Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in NSW* (OEH 2011), the consultation requirements and the Code of Practice.



Cultural heritage value refers to the spiritual, traditional, historical or contemporary associations and attachments a place has for Aboriginal people (OEH 2011:8). There is not always a consensus about the cultural value of a place as people experience places and events differently. With regards to the Aboriginal cultural heritage of West Wallsend and Holmesville, it is noted that cultural significance can only be determined by Aboriginal people and is identified through Aboriginal community consultation.

Prior to European settlement of the region, the Lake Macquarie area was inhabited by the Awabakal people. The spatial distribution of Aboriginal archaeological sites within and around West Wallsend and Holmesville shows that sites are considerably more likely to be located within undeveloped and relatively undisturbed areas. Only two recorded sites are located within the HCA, both of which are registered as scarred trees located within the footprint of the Appletree Grove Estate; these sites were recorded prior to the construction of the Estate. The absence of other sites within the HCA is likely to be due to the extent to which the area has been disturbed through industry and development.

The Butterfly Cave, which is a declared Aboriginal Place under the *National Parks and Wildlife Act 1974* (NPW Act) and a declared area under the *Aboriginal and Torres Strait Islander Heritage Protection Act 1984* (ATSIHP Act), is an Aboriginal place of high cultural significance located in the vicinity of West Wallsend. The location of the Cave is culturally sensitive, and is restricted for the Cave's protection. An additional restricted site is registered within West Wallsend, though details regarding its location, type and condition are not available due to the cultural sensitivity of this information.

## 2.3 Strategic Overview and Planning Context

West Wallsend and Holmesville are located in the north of Lake Macquarie, between the Pacific and George Booth Drive motorways. West Wallsend consists of two main roadways, Withers Street and Carrington Street which connect the suburb to Holmesville and Western Newcastle respectively, as well as accommodating the shopping, leisure and business centre of the township. Holmesville directly abuts the south western section of West Wallsend and consists of predominately residential properties with few commercial spaces.

The townships' historical backgrounds are associated with coal mining activities of the late 19<sup>th</sup> century and were a part of a much larger group of communities established to accommodate coal workers and their families. Mining activity experienced a noted reduction by 1972 and in 2016 the West Wallsend Colliery near Killingworth ceased operation. Today, the areas attract a diverse socio-economic range of residents attracted to the relative isolation, country aesthetic and natural surrounds.

The townships are located in the western portion of the North West Growth Area identified in Council's Local Strategic Planning Statement (LSPS) 2020 (refer to **Plate 2.1**). The LSPS guides the growth of Lake Macquarie City in line with State and regional planning goals.

The North West Growth Area has some important attributes. As stated in the LSPS:

*Its proximity to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities. There is great potential for the Glendale – West Wallsend Urban Intensification Corridor to increase supply of diverse and affordable housing. The western edge of this corridor is a potential location for a Very Fast Train station that could support surrounding intense housing and employment, while the high heritage and biodiversity values within this area will be retained and contribute to the overall liveability.*

The West Wallsend Precinct, which includes land to the north of the centre, is identified as one of nine precincts in the North West Growth Area. Priorities for this precinct include:

- The protection and enhancement of the heritage values of the area, including Aboriginal cultural heritage
- Human-scale, pedestrian friendly development on Carrington and Withers Street
- Opportunities associated with adventure tourism
- Explore opportunities for more intensive and diverse housing types

The North West Growth Area (**Plate 2.1**) incorporates the North West Lake Macquarie Catalyst Area (**Plate 2.2**) identified in the *Greater Newcastle Metropolitan Plan (GNMP) 2036*. The North West Catalyst Area will drive investment and change in the broader North West Growth Area.



**Plate 9.1 North West Growth Area**

Source: Local Strategic Planning Statement, LMCC 2021





**Plate 9.2 North West Catalyst Area**

Source: Greater Newcastle Metropolitan Plan, LMCC 2021

Although not in the catalyst area, West Wallsend and Holmesville will play a role in supporting change in the area. The Catalyst Area provides opportunity to generate significant jobs, diversity of housing supply, and add more advanced manufacturing, recreation, open space and services to the broader region. The proximity of the Catalyst Area to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities. These opportunities may include providing:

- large format retail, advanced manufacturing, office-based jobs and open space within a regionally significant catchment
- a strategic gateway to Greater Newcastle and
- an urban renewal precinct, meeting demand for affordable medium-density housing and enhanced lifestyle amenities.

Both West Wallsend and Holmesville are well positioned in relation to potential future transport corridors, such as a Very Fast Train route, which would have transformational impacts on the towns, and could result in renewed economic importance for both neighbourhood centres. The potential for a high-speed railway and a corresponding station near West Wallsend have previously been identified at a high-level.

In addition, land surrounding West Wallsend and Holmesville has also been identified for the recommended Lower Hunter Freight Bypass Corridor (LHFBC), which was published by Transport for NSW on 12 July 2021 for community consultation. The LHFBC will be a critical infrastructure project providing essential rail capacity for passenger and freight train growth across the broader Greater Newcastle rail network by separating the majority of freight and passenger rail services.

The LHFBC is in the initial conceptual design and consultation phase. Therefore, any comprehensive environmental assessment, design, potential acquisition of land and eventual construction will be a long-term endeavour.

Nevertheless, the LHFBC does have potential to impact West Wallsend and Holmesville's heritage curtilage, locally listed heritage items, pedestrian and vehicle connectivity, biodiversity values and scenic landscape qualities, while creating both temporary and ongoing noise, vibration and general amenity impacts. These impacts will require comprehensive consideration during the detailed environmental assessment of the LHFBC, while being consistent with the objectives and outcomes of this report and its recommendations.

Conclusively, enabling growth and more intensive development in West Wallsend and Holmesville while conserving the important heritage of the areas is a key challenge. The LSPS highlights this need to review the existing West Wallsend HCA to balance development and growth pressures with delivery of heritage conservation outcomes.



North West Lake Macquarie Catalyst Area  
(Greater Newcastle Metropolitan Plan)



North West Growth Area  
(Local Strategic Planning Statement)

### Plate 9.3 Comparison of boundaries between the North West Lake Macquarie Catalyst Area and North West Growth Area

Source: LMCC 2021.

## 2.4 Desired Future Character

This part seeks to achieve a desired future character for the West Wallsend and Holmesville HCA which:

- conserves and promotes the heritage significance and character of the West Wallsend and Holmesville HCA
- maintains the aesthetic character of the HCA as comprising two late 19<sup>th</sup> century mining townships through appropriate infill development that respects the architectural character, scale, and identified heritage significance
- conserves and enhances contributory elements within the HCA firstly through preservation, and secondly through appropriately designed alterations and additions
- conserves and enhances the visual and architectural prominence of the principal commercial axis of West Wallsend, as defined by the intersection of Withers and Carrington Streets
- continues to balance and grow the economic performance of the West Wallsend and Holmesville areas whilst conserving and promoting the heritage significance and character of the HCA



- maintains and reinforces the low-scale residential character of the HCA, which is directly linked to its heritage character
- maintains the relatively intact historical subdivision pattern of the townships
- improves the character of the place through contemporary but appropriate public domain works.

## 3.0 Objectives and Controls

### 3.1 General Controls

#### 3.1.1 Context and Setting

##### Objectives

- O1 To protect the unique character of the West Wallsend and Holmesville HCA.
- O2 To ensure that development occurs in a manner which has no adverse heritage impact on the level of significance of the area.
- O3 To ensure that development maintains established views to and from the HCA and/or to and from heritage items within it.
- O4 To protect and enhance the visual context of the HCA, which is in part defined by its landscape setting.

##### Controls

- C1 Development proposals must incorporate bulk, form, scale and landscaping that is consistent with, and complements the historical development of the West Wallsend and Holmesville HCA.
- C2 Development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- C3 Development applications must include a heritage assessment that identifies the potential impact of development on the significance of the item or areas, and include an assessment of potential impacts to the context and setting.
- C4 The heritage impact statement must include:
  - Details of form, scale, proportion, finishes, ridge levels and fenestration;
  - A statement identifying the level of visual integration of the development with the Conservation Area and an assessment of potential visual impacts, including a contextually accurate photomontage;
  - How adverse heritage impacts have been avoided and/or mitigated.
- C5 The heritage impact statement must identify buildings, structures, landforms and landscape elements which are visually inconsistent (or “intrusive”) and outline how these can be removed to improve interpretation of the significance of the area.
- C6 Developments must not compromise the significance of existing buildings, their curtilage or setting.

### 3.1.2 Landscape Setting

With the exception of the Appletree Grove Estate, the landscape setting of West Wallsend and Holmesville has been subject to minimal change over time. This shared setting, which is defined by the presence of the Sugarloaf Range to the west/northwest and bushland in all directions, is relatively unique within the wider Lake Macquarie LGA, and contributes strongly to the HCA's sense of place and aesthetic distinctiveness.

Development within both townships both responds to and reflects the underlying topography, which is variable across the HCA. The commercial precincts of both townships are situated within relatively elevated areas, and this siting emphasises the architectural prominence of significant commercial and/or community buildings, which are typically of a larger scale than the surrounding low-scale residential development.

In addition to the above, the presence of remnant vegetation around the periphery of the townships contributes strongly to their shared setting and reinforces their character as relatively isolated townships developed between Lake Macquarie to the south east, Newcastle CBD to the east, and elevated areas less suitable for residential development to the west.

#### Objectives

- O1 To retain the existing landscape character of the West Wallsend and Holmesville HCA.
- O2 To ensure that development maintains established views into and within the HCA.

#### Controls

- C1 The underlying topography of an allotment must be considered and utilised in designing alterations and additions or infill development. Where possible, the topography should be used to minimise the visibility of the new development (including additions).
- C2 New development should be consistent with the surrounding streetscape with regards to the ways in which it responds to the underlying topography.
- C3 Minimising visual impacts is to be prioritised over avoiding earthworks where this would result in the least adverse heritage impact, noting that excavation will be considered on its merit, where it results in maintaining the predominant height and scale of the streetscape.
- C4 Any proposal that involves earthworks to facilitate development must be undertaken in accordance with Section 4.14 of the LMDCP 2014 ('Cut and Fill'), specifically Table 10.
- C5 Aboriginal archaeology must be considered as part of any proposal that involves substantial earthworks. Reference should be made to the *Lake Macquarie Aboriginal Heritage Management Strategy* 2011 and the relevant sections of the LMDCP 2014.
- C6 The bushland setting of the West Wallsend and Holmesville HCA should be considered and maintained as part of any new development.
- C7 The trees listed in council's Significant Tree Register and located in the HCA should be considered and maintained as part of any new development. Amenity provided by the trees listed in council's Significant Tree Register should not be reduced.



- C8 The natural vegetation of the HCA should be considered and maintained as part of any new development. Amenity provided by natural vegetation should not be reduced. Appropriate measures to address impacts may include replacement tree planting, and maintenance of streetscape amenity to and from the item or area.

### **3.1.3 Views and Vistas**

#### Objectives

- O1 To ensure that any development proposal, infrastructure works, vegetation management works, or maintenance activities maintains identified views and vistas of significance, being those shown in **Figure 3** and **Figure 4**.

#### Controls

- C1 Development must not obstruct or detract from significant views and vistas.
- C2 The potential visual impacts of any new development (including alterations and additions) must be considered as part of an accompanying heritage assessment.
- C3 When assessing impacts to heritage items or streetscapes, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Appropriate measures to address impacts may include adequate screening, maintaining view corridors to and from the item or area, increasing or protecting heritage plantings, or considering visual permeability/fragmentation as part of the design.
- C4 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. All trees listed in council Significant Tree Register should remain unaffected during development.

### **3.1.4 Form, Massing and Scale**

#### Objectives

- O1 To ensure new development is appropriate and sympathetic to the HCA and its heritage significance in terms of form, massing and scale.
- O2 To complement the predominately single-storey scale of development within the HCA that characterises the area and reinforces the overall aesthetic presentation of the place as two late 19<sup>th</sup> century mining townships with a shared setting.
- O3 To maintain and enhance the existing heritage character of the HCA and the streetscapes contained therein, which is strongly defined by low scale development and single dwelling houses.
- O4 To maintain and enhance significant views and vistas within the HCA.

### Controls

- C1 Development is to reflect the bulk, mass, scale, orientation, curtilage and setbacks of the surrounding context.
- C2 Development is to complement the architectural style and character of the area, including specific streetscapes, where relevant.
- C3 Development must not obstruct or detract from significant views and vistas (refer to **Figure 3** and **Figure 4**).
- C4 The reinstatement of original architectural features or elements is to be attempted, where reasonable, when works are proposed to listed heritage items or Contributory 1 items.
- C5 Contemporary design outcomes may be appropriate, provided that this does not have an adverse impact on the characteristic built form and/or architectural style of the HCA, particularly in terms of bulk, scale, height, form and/or materials.

### **3.1.5 Setbacks**

#### Objectives

- O1 To ensure new development is consistent with and sympathetic to the character of the HCA and Contributory 1 buildings contained therein in terms of setbacks.

#### Controls

- C1 Where present, consistent patterns of setbacks (front or side) are to be maintained. This includes the southern side of that portion of Carrington Street between Brooks and Robertson Streets, where there is a distinct pattern to the front setbacks of dwellings (being a stepped pattern that responds to the angle of the street) (refer to **Plate 1**).
- C2 Where no consistency in setbacks exists within a streetscape, the front setback should be compliant with the other relevant parts of this DCP.

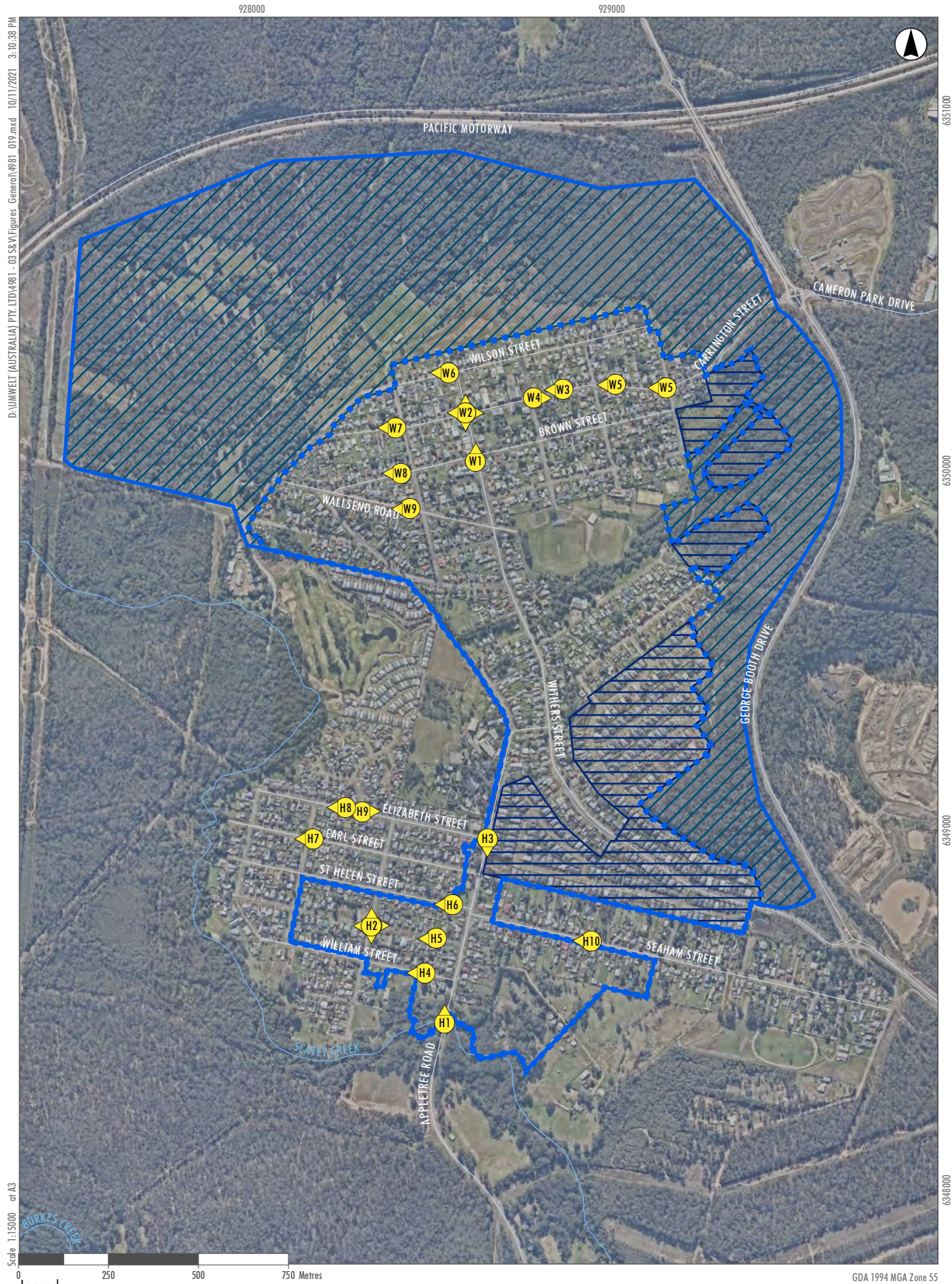


**Plate 1 Stepped setback pattern present on the southern side of Carrington Street between Brooks and Robertson Streets**

Source: <https://maps.six.nsw.gov.au/> with Umwelt overlays



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Scale 1:15000 at A3

**Legend**

- Proposed Revised HCA Boundary
- Landscape Buffer Zone
- Appletree Grove Estate
- ▶ Significant View

**FIGURE 3A**  
Significant Views



View H1 - View north into Holmesville along Appletree Road



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H2 - Views north, south, east and west within the commercial axis



View H3 - View south into Holmesville along Appletree Road axis



View H4 - View west along William Street showing streetscape and the Sugarloaf Range beyond



View H5 - View west along George Street showing streetscape and the Sugarloaf Range beyond





**View H6 - View west along St Helen Street showing the streetscape and the Sugarloaf Range beyond**



**View H7 - View west along Earl Street showing the streetscape and the Sugarloaf Range beyond**



**View H8 - View west along Elizabeth Street showing the streetscape and the Sugarloaf Range beyond**



**View H9 - View east along Elizabeth Street showing the bushland setting, comprised by the Appletree Grove Estate**



**View H10 - Views west along Seaham Street showing the streetscape and the Sugarloaf Range beyond**



**View W1 - Views north along Withers Street into the commercial precinct**



**View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)**



**View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)**



**View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)**



**View W2 - Views north, south, east and west from the intersection of Withers and Carrington Streets (the commercial precinct)**



**View W3 - Views west along Carrington Street into the commercial precinct**



**View W4 - View east along Carrington Street, showing streetscape**



**View W5 - Views west along Carrington Street showing the streetscape and the Sugarloaf Range in the distance**



**View W5 - Views west along Carrington Street showing the streetscape and the Sugarloaf Range in the distance**



**View W6 - View west along Wilson Street, showing the streetscape and the Sugarloaf Range beyond**



**View W7 - View west along Carrington Street, showing the streetscape and the Sugarloaf Range beyond**



**View W8 - View west along Brown Street, showing the streetscape and the Sugarloaf Range beyond**

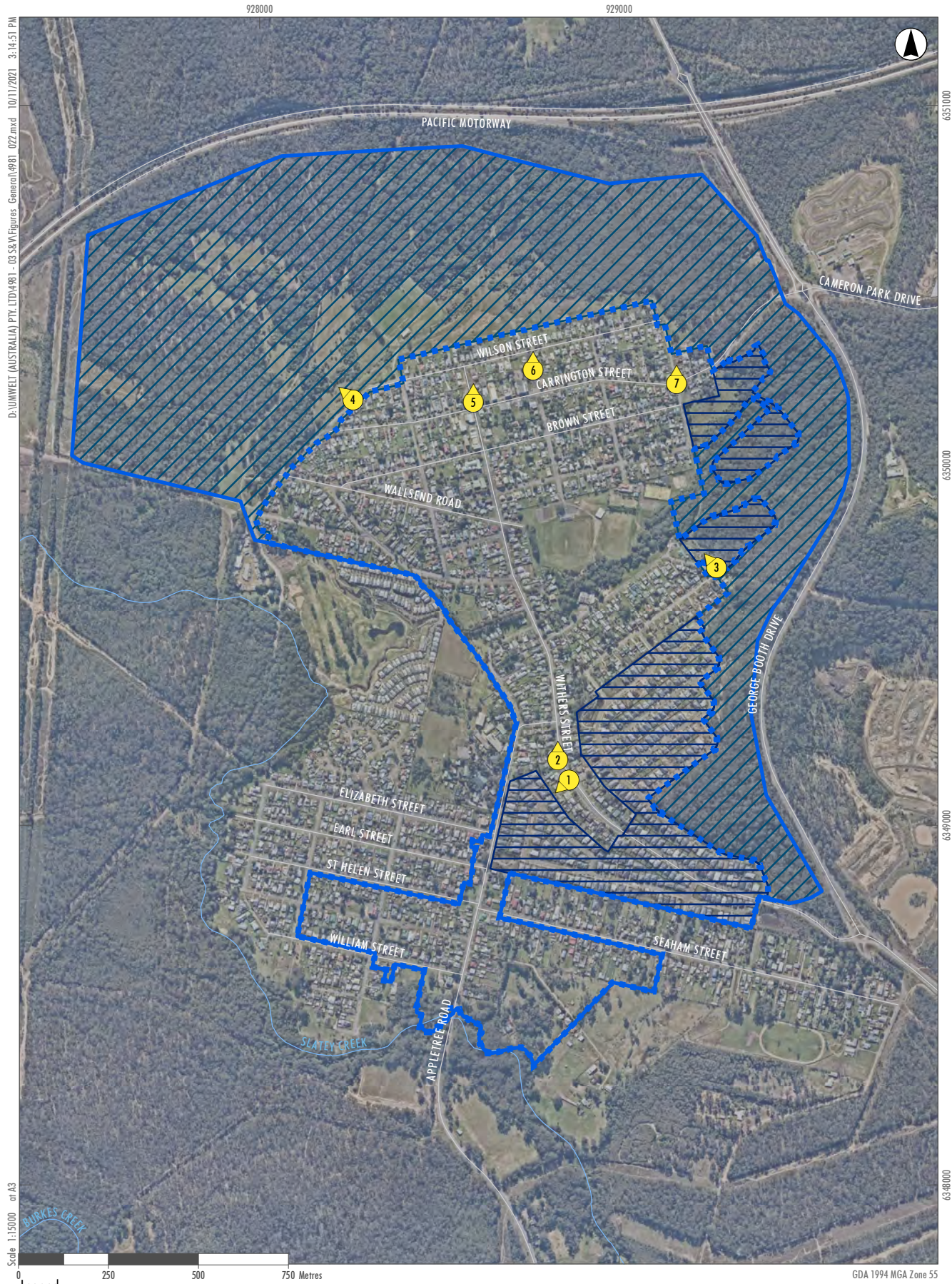


**View W9 - View west along Wallsend Road, showing the streetscape and the Sugarloaf Range beyond**

**FIGURE 3B**

**Significant Views**





**FIGURE 4**  
**Significant Vistas**



Vista 1 - Vista of Holmesville (including the commercial precinct) from the intersection of Withers Street and Tramway Drive, facing southwest



Vista 2 - Vista of West Wallsend, facing north along Withers Street and showing the commercial precinct



Vista 3 - Vista from the intersection of Fegan Street and Notley Way, facing northwest over West Wallsend and showing the Sugarloaf Range in distance



Vista 4 - Vista from Wilson Street facing northwest towards the Sugarloaf Range



Vista 5 - Vista from Wilson Street facing north towards the Sugarloaf Range



Vista 6 - Vista from Wilson Street facing north towards the Sugarloaf Range



Vista 7 - Vista from Wilson Street facing north towards the Sugarloaf Range



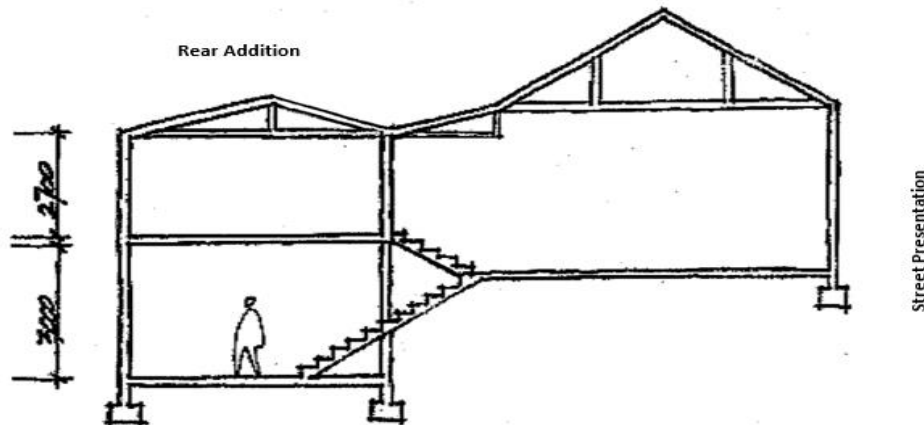
### 3.1.6 Additions and Alterations

#### Objectives

- O1 To ensure that alterations and additions undertaken within the HCA respect and respond appropriately to its heritage significance and character.
- O2 To ensure that the character and form of buildings and streetscapes within the HCA are conserved and enhanced.
- O3 To ensure that new work within the HCA represents high quality and good design outcomes.
- O4 To encourage new work within the HCA to enhance and support the economic performance of the West Wallsend and Holmesville areas, whilst respecting and responding sympathetically to the heritage significance of the HCA.

#### Controls

- C1 Alterations and additions must conserve and enhance, rather than adversely impact or detract from, the heritage significance of the HCA and the heritage items and Contributory 1 buildings contained therein.
- C2 Alterations and additions to heritage items and Contributory 1 buildings are to be undertaken in accordance with the controls provided at **Section 3.4.1** of this document.
- C3 Alterations and additions to Contributory 2 buildings are to be undertaken in accordance with the controls provided at **Section 3.4.2** of this document.
- C4 Alterations and additions to Non-Contributory buildings are to be undertaken in accordance with the controls provided at **Section 3.4.3** of this document.
- C5 Additional storeys or upper level additions to existing dwellings that would have a street presentation are not appropriate.
- C6 The underlying topography of an allotment must be considered and utilised in designing alterations and additions. Where possible, the topography should be used to minimise the visibility of rear additions or alterations (refer to **Plate 2**).



**Plate 2** Example of utilising topography to maintain a single storey presentation to the streetscape whilst allowing for a double storey addition to the rear

Source: LMCC Heritage Guidelines.

- C9 The height of development must be consistent with the predominate scale of that streetscape. All residential streetscapes within Holmesville and West Wallsend have a predominate scale of single-storey, which is to be maintained. A greater scale of development is permissible within the commercial precinct of West Wallsend (being two storeys in height with a parapet or well-designed third storey) in accordance with the applicable height controls.

### 3.1.7 Infill Development

#### Objectives

- O1 To ensure new development is consistent with and sympathetic to the character of the HCA and Contributory 1 buildings contained therein in terms of materials, bulk, scale, character and setback.

#### Controls

- C1 Infill development within the West Wallsend and Holmesville HCA is to be compatible with the surrounding area and is to be designed to respect the character of the area and buildings of significance by responding sympathetically to:
- The existing streetscape;
  - Topography and setting;
  - Significant views and vistas and existing view lines to and from heritage items and Contributory 1 buildings;
  - Historical subdivision patterns that contribute to the maintenance of the HCA's overall aesthetic character;
  - The type, siting, form, height, bulk, roofscape, scale, materials and details of adjoining or nearby Contributory 1 buildings;
  - The interface between the public domain and building alignments/boundaries;

- The rhythm and proportions of the fenestration (openings) of surrounding buildings, particularly Contributory 1 buildings, should be respected and where possible reinforced as part of any new development.
- C2 Infill development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- C3 Development of a greater height/scale than surrounding buildings may be permissible where it can be demonstrated that this will not negatively impact the overall character of the West Wallsend and Holmesville HCA or disrupt the integrity/consistency of a streetscape.
- C4 Infill development is not to be designed as a copy or replica of other buildings in the area, but is to complement the character of the HCA by responding sympathetically to the controls included within this section.
- C5 Infill development is to be designed with reference to the NSW Heritage Office (now Heritage, Department of Premier and Cabinet [DPC]) publication *Design in Context: Guidelines for Infill Development in the Historic Environment*.

### **3.1.8 Subdivision and Lot Amalgamation**

#### Objectives

- O1 To ensure that the character of the HCA is not adversely impacted by uncharacteristic subdivision patterns and associated inappropriate development.
- O2 To ensure the significance of the heritage items, Contributory 1 buildings and the overall HCA is not reduced through reduced or inappropriate curtilages.

#### Controls

- C1 The subdivision and development of West Wallsend and Holmesville occurred in stages from the late nineteenth century onwards, and the historical pattern of subdivision within the West Wallsend and Holmesville HCA has generally been maintained. Further subdivision or lot amalgamation that would adversely impact or significantly obscure the historical subdivision pattern is not appropriate.
- C2 Any application that seeks to subdivide or amalgamate allotments that contain heritage items or Contributory 1 buildings must be informed by a heritage impact statement that includes consideration of the contribution that the subdivision pattern makes to the heritage significance of those items/buildings and/or the wider HCA.
- C3 Changes to property boundaries are not supported where this would inappropriately reduce the curtilage of a heritage item or Contributory 1 building.



### **3.1.9 Adaptive Re-Use and Use (of Buildings)**

#### Objectives

- O1 To ensure that the uses of buildings within the HCA are appropriate to their heritage significance.
- O2 To ensure that the adaptive re-use of buildings within the HCA is done in an appropriate and complementary manner.

#### Controls

- C1 Changes in use/new uses should be consistent with the historical use of a heritage item or Contributory 1 building (i.e. residential properties should maintain a residential use, commercial properties should maintain a commercial use).
- C2 The commercial axis of each suburb should be maintained and enhanced. In West Wallsend, this is defined by the intersection of Carrington and Withers Streets. In Holmesville, this is defined by the intersection of George and Charlotte Streets.
- C3 Changes in use may be supportable where the new use requires no more than a minimal degree of alteration to significant fabric and building elements. Work required to facilitate a change in use should be reversible where feasible.
- C4 New uses that require an inappropriate degree of physical intervention to a heritage item or Contributory 1 building are not supported.
- C5 New uses must not adversely impact the external presentation of heritage items or Contributory 1 buildings.
- C6 Alterations and/or additions required to support a new use must not obscure the understanding of a building's heritage significance.

### **3.1.10 Public Domain Elements**

#### Objectives

- O1 To ensure development is consistent with the public domain structure plan treatments of the adopted West Wallsend Heritage Streetscape Masterplan (2020)
- O2 To ensure development does not adversely impact on the significance of heritage items in the public domain.

#### Controls

- C1 The introduction of changes to any public domain elements or treatments must be consistent with the West Wallsend Heritage Streetscape Masterplan.
- C2 The introduction of changes to any public domain elements or treatments within the HCA should have regard for the area's identified significance, and be of a sympathetic and complementary design.

- C2 The introduction of or changes to any public domain elements or treatments within the HCA must not obscure any heritage items or Contributory 1 buildings within the HCA. Public domain elements also must not obscure or negatively impact the visual character or aesthetic presentation of streetscapes.
- C3 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Amenity provided by the streetscape should not be reduced. Appropriate measures to address impacts may include replacement street tree planting, maintenance of streetscape amenity to and from the item or area.
- C4 The introduction of new public domain elements or treatments that complement and reinforce the heritage character of the HCA is encouraged, particularly within the principal commercial axis of each township.

### **3.1.11 Site Coverage**

#### Objectives

- O1 To ensure the bulk and form of future development reflects the historic development of the West Wallsend and Holmesville HCA.
- O2 To ensure that allotments are not overdeveloped.

#### Controls

- C1 The maximum site coverage, including ancillary development, should not exceed 45%, unless it can be demonstrated that the proposal will not have a detrimental impact on the heritage values within the precinct.

### **3.1.12 Demolition of Heritage Items in the HCA**

#### Objectives

- O1 To ensure the retention of heritage items and contributory items in the HCA.

#### Controls

- C1 A development application will need to be submitted to Council for the proposed demolition of any item within the HCA, where this demolition work does not fall under the exemptions outlined in the LMLEP 2014.
- C2 The Development Application will need to include a Heritage Impact Statement, including an assessment of archaeological potential.
- C3 The heritage impact statement shall address:
- i. How will the proposed works affect the cultural significance of the site and the HCA?
  - ii. What alternatives have been considered to ameliorate any adverse impacts?
  - iii. Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

- C4 If structural failure is cited as a justification for demolition, evidence must be provided from a registered structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significant fabric and/or prohibitive costs.
- C5 A development application that includes demolition of an existing building must also request approval for a replacement building, that complies with the objectives and controls of this Area Plan, concurrently.
- C6 Chimneys must be retained unless they are structurally unsound and unable to be restored. An application for removal must be supported by a report prepared and certified by a qualified structural engineer.
- C7 In the case of a proposal for demolition of a listed heritage item or contributory building the Council may require the applicant, as a condition of approval, to submit an archival record of the place, prior to the commencement of demolition. In most cases this would include a digital plan, with digital photographs of the place in its setting, together with a digital photograph of each room, and any special feature(s) that the place may have. These photographs should be keyed to the plan with numbers and arrows.

### **3.1.13 Archaeology (Non-Aboriginal)**

#### Objectives

- O1 To ensure potential archaeological sites are protected.
- O2 To ensure that in instances where potential archaeological sites cannot be protected, that impacts to the sites are appropriately managed.

#### Controls

- C1 Any Development Application for works to a locally listed heritage item will need to include a heritage impact statement, including an assessment of archaeological potential.
- C2 The archaeological potential of a property should be considered as part of any Development Application. For properties not identified as potential archaeological sites in this DCP (refer to **Figure 5**) consideration may involve consultation with Council, or the preparation of a brief site history.
- C3 Any works to the potential archaeological sites identified in **Figure 5** must be accompanied by a complete historical archaeological assessment.
- C4 If there is any likelihood of an impact on any significant archaeological relics from a period prior to the current building, development must ensure that the impact is managed according to the assessed level of significance of those relics. Potential impacts to relics are to be determined as part of a heritage impact statement for works, or as part of a historical archaeological assessment.



## 3.2 Controls for Specific Building Elements

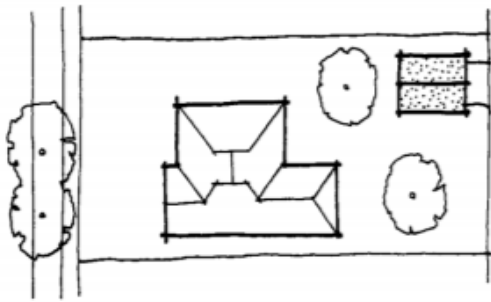
### 3.2.1 Garages and Carports

#### Objectives

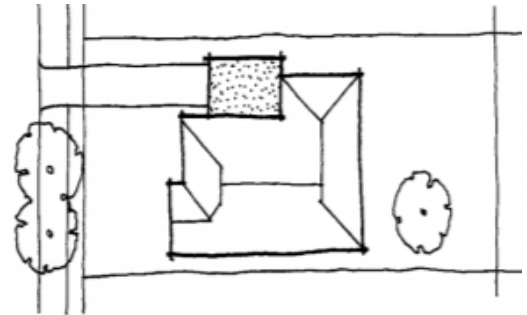
- O1 To ensure that garages and carports do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the West Wallsend and Holmesville HCA.

#### Controls

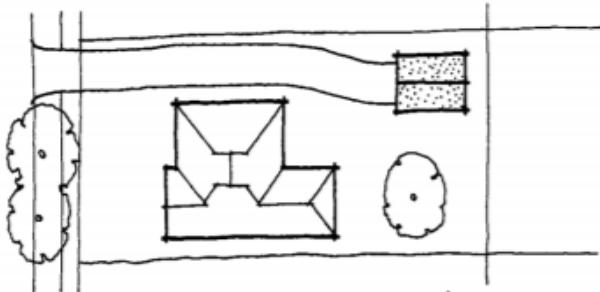
- C1 Garages and carports are not to be located in front of the building line.
- C2 Garages and carports are most appropriately located to the rear of the building. Where this is not feasible, garages and carports are to be located to the side of the building and behind the front building line (**Plate 3**).
- C3 If off-street carparking can only be accommodated to the front of the building line, this is to be limited to open carports of sympathetic and unobtrusive materials, or a discrete hardstand area.
- C4 The style, materiality and colour scheme of garages and carports is to complement that of the associated dwelling or building.
- C5 Double-storey garages are not appropriate unless it can be demonstrated that no adverse impacts will occur to heritage items, Contributory 1 buildings, or the significance of the wider HCA.



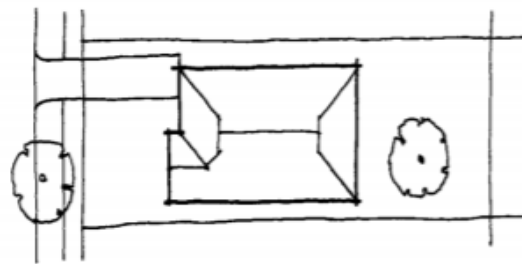
1. Locate at the rear. with access from a rear lane.



3. Locate at the side of the house, well set back



2. Locate at the rear. with access from the front.



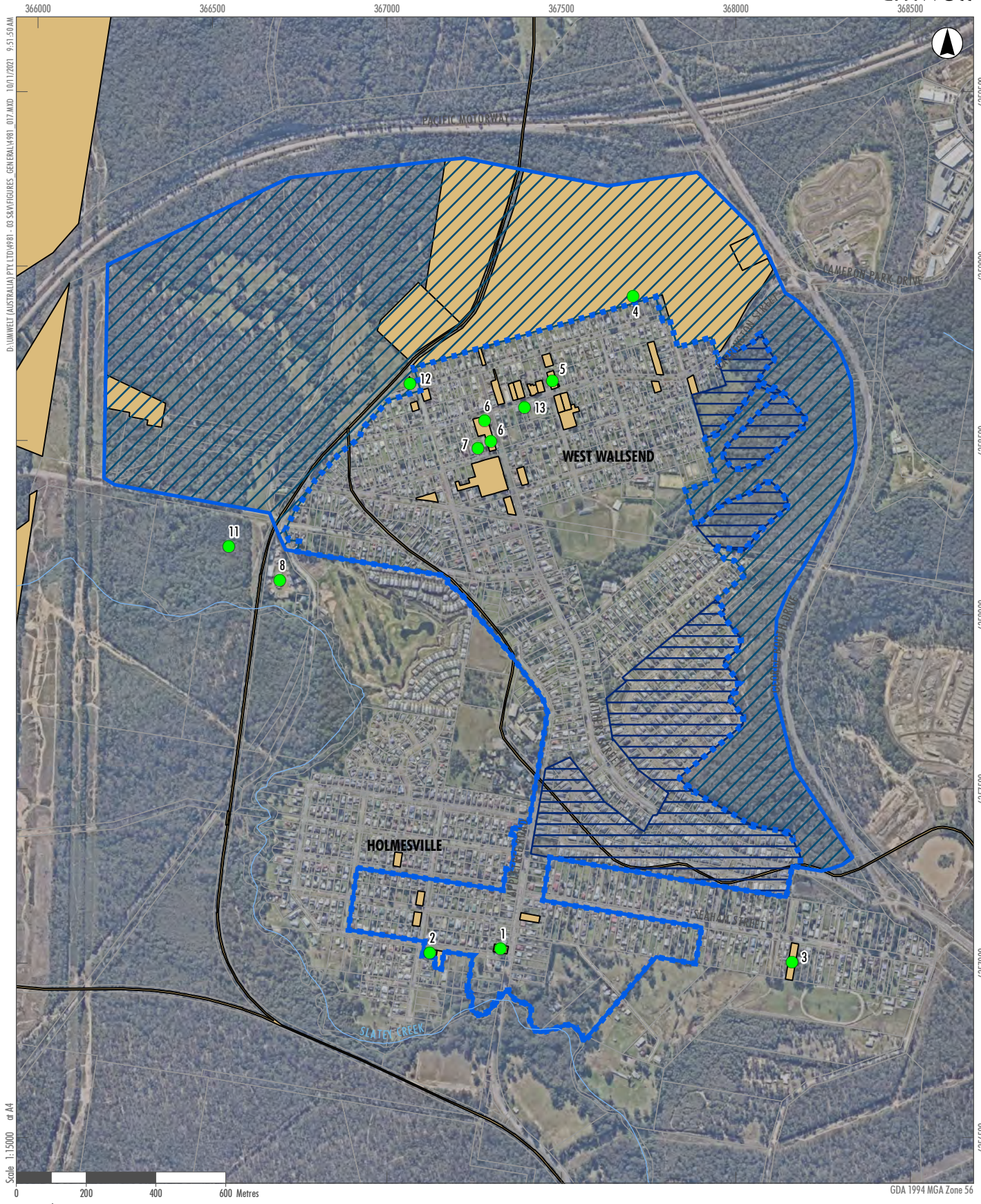
4. Uncovered paved area at the front

5. If appearance of house is compromised, and no other options, on-street parking is preferred.

### Plate 3 Appropriate locations for garages/carports

Source: LMCC Heritage Guidelines





- Legend**
- Proposed Revised HCA Boundary
  - Locally Listed Heritage Items
  - Potential Archaeological Site
  - Landscape Buffer Zone
  - Appletree Grove Estate

**FIGURE 5**  
Potential Archaeological Sites



### **3.2.2 Verandahs**

#### Objectives

- O1 To ensure that new verandahs, or changes to verandahs, do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the West Wallsend and Holmesville HCA.
- O2 To encourage the retention and/or reinstatement of original verandahs to heritage items and Contributory 1 buildings.

#### Controls

- C1 Original and/or sympathetic verandahs are to be retained and conserved. Sympathetic verandahs are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic verandahs.
- C2 Reinstatement of missing verandahs where this would have a positive contribution to the heritage significance of the building and to the overall heritage significance of the West Wallsend and Holmesville HCA. Reinstatement should be based on historical (photographic) evidence where this is available.
- C3 Non-original and/or intrusive verandahs should be removed from heritage items and Contributory 1 buildings.
- C4 Enclosing front verandahs to heritage items or Contributory 1 buildings is not appropriate.
- C5 The design, form, scale and siting of new verandahs within the HCA must be broadly consistent with the heritage character of the wider HCA, and with original/early verandahs located within the surrounding streetscape. This is particularly relevant within the more intact streetscapes, including Wilson, Carrington and Withers Streets.
- C6 The style of verandah is to be appropriate to the architectural style of the building (i.e. Victorian, Federation or Inter-War).
- C7 Glass balustrades to verandahs within the HCA are not appropriate. A more traditional material such as timber is to be used.

### **3.2.3 Materials, Colours and Finishes**

#### Objectives

- O1 To ensure that materials and finishes are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

#### Controls

- C1 Proposed colour schemes to new and existing buildings are to be broadly consistent with the predominate colour schemes already present within the HCA and should be outlined in a schedule of (external) colours and materials to be provided as part of any development application being submitted. It is noted that there is a high degree of variability within the HCA in terms of paint colours, and this provides a greater degree of flexibility with regards to new paint schemes.

- C2 For heritage items or Contributory 1 buildings, attempts must be made to investigate original colour schemes. Where this can be determined, an original or early colour scheme should be reinstated.
- C3 Colour schemes should be selected with reference to: *Colour Schemes for Old Australian Houses*, Ian Evans, Clive Lucas and Ian Stapleton, The Flannel Flower Press, 1984.
- C4 Ensure materials and finishes are appropriate and sympathetic to the aesthetic character of the wider HCA and significant buildings contained therein.
- C5 Materials and finishes are to be selected based on their characteristic usage (e.g. brick to sub-floor levels for buildings on sloping blocks, corrugated iron to roofs, etc).
- C6 The most appropriate and therefore preferred finish type for external façades is painted weatherboard. Face brick and painted brickwork is also appropriate, particularly to verandahs (including posts/piers) and sub-floor levels, where present. Timber joinery to windows, doors and verandahs is appropriate and supported. Tile and corrugated iron roofs are also appropriate.
- C7 Unpainted and/or unrendered brickwork to heritage items and Contributory 1 buildings must remain unpainted and/or unrendered.
- C8 Original or early render is to be retained and conserved. New render to heritage items or Contributory 1 buildings is to match existing render where this is present.
- C9 Where new materials and finishes are required, these are to be complementary to, but not seek to replicate, original materials and finishes. New materials and finishes must be discernible as new upon close inspection.

### **3.2.4 Other Features (Parapets, Awnings and Roofs)**

#### Objectives

- O1 To ensure that building features are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

#### Controls

- C1 Parapets to commercial buildings of significance must be retained and conserved.
- C2 New parapets to commercial buildings must be consistent and/or complementary to existing original/early parapets within the HCA.
- C3 Suspended awnings to commercial buildings of significance are to be retained and conserved.
- C4 New awnings to commercial buildings are to be consistent with original/early awnings present within the HCA, based on historical evidence (such as historical photographs). If awnings are to be reinstated, this should also be done based on historical evidence (such as historical photographs or discernible evidence of posts).
- C5 Original roof forms must be retained and conserved, with materials able to be replaced if required. New materials to original roof forms are to be consistent with original/early materials and/or existing, adjacent fabric.

- C6 Traditional roof forms present within the HCA are to be used for new or infill development. Gable and hipped roof forms are most appropriate. The pitch of new roof forms must have regard to the pitches of existing roof forms to heritage items and Contributory 1 buildings within the HCA.

### 3.2.5 Fences

#### Objectives

- O1 To ensure that fences are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

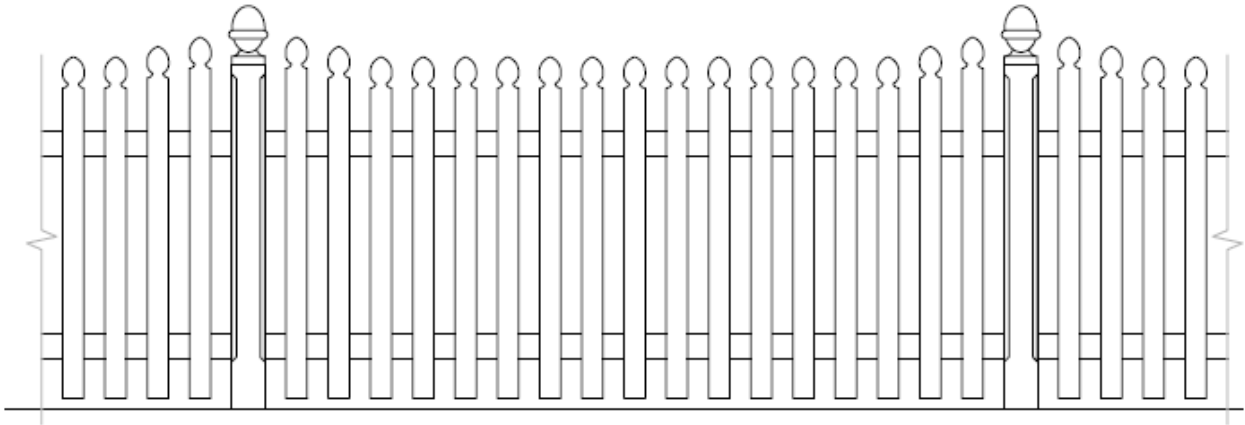
#### Controls

- C1 Original and/or sympathetic fences are to be retained and conserved. Sympathetic fences are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic fences.
- C2 New fences are to be generally consistent and/or complementary to existing original/early fences within the HCA.
- C3 Front fences are to be of a design that is appropriate to the style and period of the building, as outlined below. It should be noted that the below examples are indicative only.

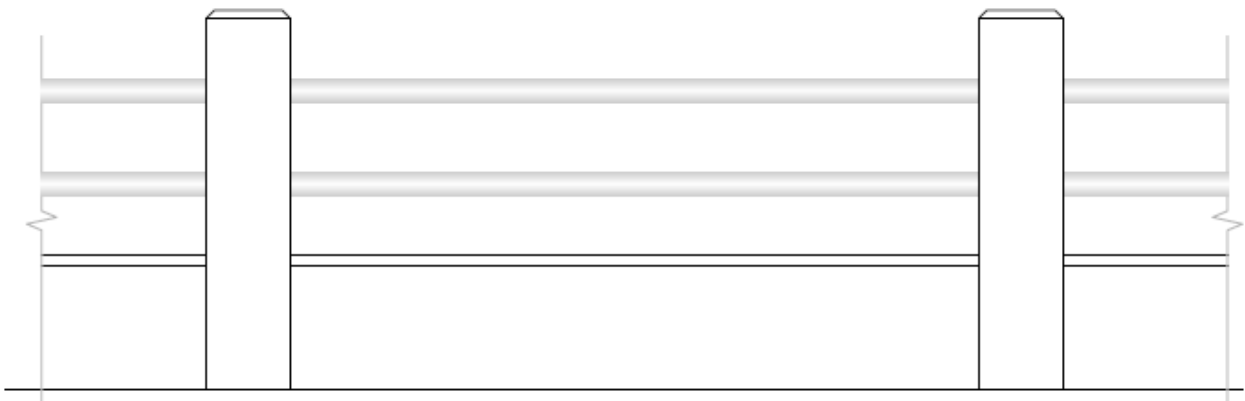
<b>Victorian Buildings</b>	timber picket fences or iron palisade fences, vertical emphasis
<b>Federation Buildings</b>	timber picket fences, timber picket fences on brick or stone base courses, brick or stone bases with iron panels, vertical emphasis
<b>Inter-War Buildings</b>	low brick fences, brickwork that matches brick detailing to the building, some detailing to brickwork such as curved bricks or corbelling, horizontal emphasis
<b>Post-War Building</b>	low brick fences, <b>brickwork that matches brick detailing to the building, minimal brick detailing with addition of iron detailing, horizontal emphasis</b>

- C4 Where possible, maintain continuous fence lines and heights within streetscapes.
- C5 Traditionally, fences to front elevations were kept low to optimise the visibility of buildings. There is no precedent for high fences within the HCA, and high fences are generally not supportable. The height limit of front fences within the HCA is 1.2 metres.

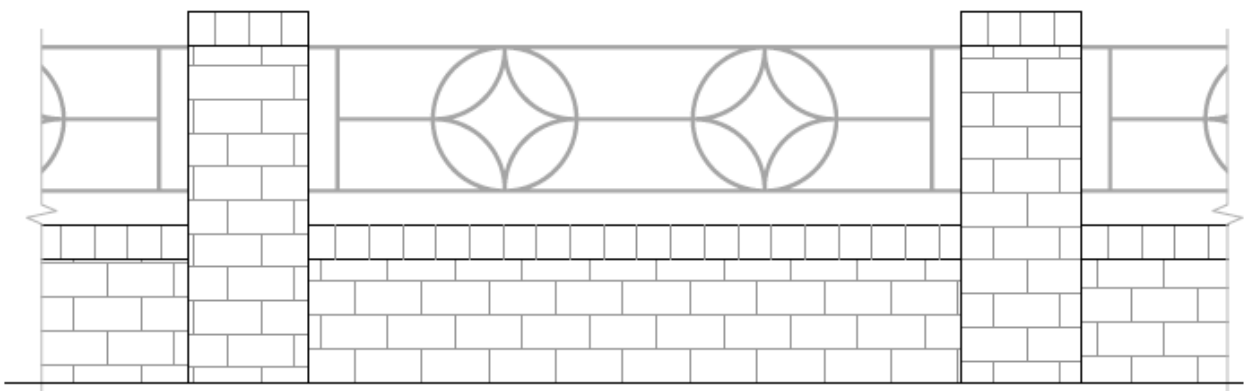




**Victorian/Federation**



**Inter-War**



**Post-War**

**Plate 4 Illustration of typical fence styles referred to in this DCP**

Source: Umwelt, 2020.

### 3.2.6 Signage

Signage on heritage buildings for a commercial use, home business or home occupation needs to be of a standard and type that ensures the signs do not detract from the heritage significance of the building or heritage conservation values of the HCA.

Refer to Part 9 – Specific Land Uses – Signage of the LM DCP 2014 for information about signage types.

#### Objectives

- O1 To ensure that the design and configuration of signage positively contributes to the amenity of the building and streetscape of the HCA.
- O2 To minimise incoherence of signage resulting from a proliferation of signs at the locality.

#### Controls

- C1 Identification signs – including nameplates on professional offices, community facilities, recreational facilities, or residences for home businesses – are limited to 0.6m<sup>2</sup>, and one sign per street frontage.
- C2 Fascia signs must be located on an awning, and confined to the height of the awning and its length parallel to the street. They must not project more than 300 millimetres out from the fascia and/or walls, and must integrate with the design of the building.
- C3 Under awning signs must maintain a 2.6 metre clearance above ground level and must not project beyond the edge of the awning. They must be limited to one sign per street frontage located under or below the awning level, and are not to exceed 5m<sup>2</sup>.
- C4 Parapet signs are to be aligned with the dimensions of windows or doors and be centred on the parapet. The content of the sign should be limited to the name or classification of the business.
- C5 Flush wall and hamper signs must not extend laterally from the wall, or beyond the edges of the wall. If internally illuminated, they must maintain a minimum of 2.6 metres above ground level and must not be flashing or moving signs. They must not exceed 25 percent of the wall space for each frontage.
- C6 Projecting wall signs are permissible above the awning where the parapet wall has sufficient height to ensure the sign is in proportion. Projecting wall signs are not to extend above the parapet height and are not to extend more than 750 millimetres from the face of the wall. The vertical dimension of the sign is to be equal to or greater than the horizontal dimension.

### 3.3 Controls for Heritage Items

Heritage items are those listed in LM LEP 2014 [Schedule 5], which have been identified as having heritage significance relating to the social, cultural, natural, or technical history of the local area. Within Holmesville, these include the ‘Holmesville Hotel’ (Item ID 103), the ‘Post Office Store’ (Item ID 102) and the ‘former Police Station’ (Item ID 101). Within West Wallsend, heritage items include the ‘Worker’s Club’ (Item ID 199), the ‘Post Office and residence’ (Item ID 201), the ‘Clyde Inn Hotel’ (Item ID 202) and the ‘West Wallsend Co-Op’ (Item ID 205). Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.

### 3.3.1 Local Heritage Items

#### Objectives

The objectives of these controls are to ensure that development to heritage items:

- O1 Encourage the retention of existing heritage items and their significant elements.
- O2 Is based on the understanding and conservation of the heritage significance of the item.
- O3 Encourages heritage items to be used for purposes that are appropriate to their heritage significance.
- O4 Maintains the setting of the heritage item including the relationship between the item and its surroundings.
- O5 Encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements.

#### Controls

- C1 Any development application involving a heritage item is to be accompanied by a heritage impact statement, and possibly a conservation management plan, or heritage asset management strategy.
- C2 Development to a heritage item is to:
  - Be consistent with an appropriate Heritage Impact Statement, Conservation Management Plan or Conservation Management Strategy;
  - Protect the setting of the heritage item;
  - Retain significant internal and external fabric and building elements;
  - Retain significant internal and external spaces;
  - Remove unsympathetic alterations and additions;
  - Reinstatement missing details and building elements;
  - Use materials, finishes and colours that are appropriate to the significant periods of development or architectural character of the item; and
  - Respect the pattern, style and dimensions of original windows and doors.
- C3 Original room configuration should be retained in the first instance. Alterations to the room layout of heritage items are to ensure that the original room configuration remains discernible and can be interpreted.
- C4 Original and early trees, plantings, garden layouts and landscaping should be retained and traditional garden designs should be reinstated where possible.



### 3.3.2 Changing the Use of a Local Heritage Item

- C1 Any proposal involving the change of use (including the adaptive reuse) of a heritage item is to demonstrate that:
- the new use requires minimal alterations to significant fabric and building elements, and that any changes to these are reversible or have minimal impact on the heritage significance of the item;
  - any internal changes do not compromise the heritage significance and the external appearance of the building;
  - alterations and/or additions required to support the new use do not obscure the understanding of the building's significant use;
  - the significant use can be interpreted;
  - the introduction of new services will not have a detrimental impact on significant fabric or spaces; and
  - be consistent with a schedule of conservation works or conservation management plan, if available.
- C2 Proposals to change the use of public and community buildings must take into account the effect on significant interior elements and fittings.
- C3 The significant use of the building should be interpreted on site. Interpretation of the use may include the use of historic artefacts, the in-situ retention of machinery and signage, or artistic interpretation.

### 3.3.3 Vicinity Controls

Development in the vicinity of a heritage item can often have an impact upon the heritage significance of the item, in particular through an impact on the setting of the item. Determining whether a property is within, or impacts upon, the setting of a heritage item is a necessary component of the site analysis of a proposal. Specialist heritage advice may need to be obtained in order to determine a property's setting. If in doubt, it is recommended that clarification be sought from the Council prior to preparing a development application.

The determination of the setting of a heritage item should consider the historical property boundaries, significant vegetation and landscaping, archaeological features, and significant views to and from the property.

#### Objectives

- O1 The objective of these provisions is to ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.

## Controls

- C1 Alterations and additions to buildings and structures, and new development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the:
- building envelope;
  - proportions;
  - materials, colours and finishes; and
  - building and street alignment.
- C2 Development in the vicinity of a heritage item is to minimise the impact on the setting of the item by:
- providing an adequate area around the building to allow interpretation of the heritage item;
  - retaining original or significant landscaping (including plantings with direct links or association with the heritage item);
  - protecting (where possible) and allowing the interpretation of archaeological features; and
  - retaining and respecting significant views to and from the heritage item.

## **3.4 Controls Based on Contribution Gradings**

Buildings and sites within the heritage conservation area are identified on the Building Contributions Map (based on **Figure 4.2** of this report) as being Contributory 1, Contributory 2 or Non-Contributory to the character and heritage significance of the West Wallsend and Holmesville HCA. The following controls have been developed in response to these recognised levels of significance.

### **3.4.1 Contributory 1 Buildings**

Contributory 1 buildings are buildings that make an important and significant contribution to the character of the West Wallsend and Holmesville HCA. They have a reasonable to high degree of integrity and date from a key development period of significance.

Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.

## Objectives

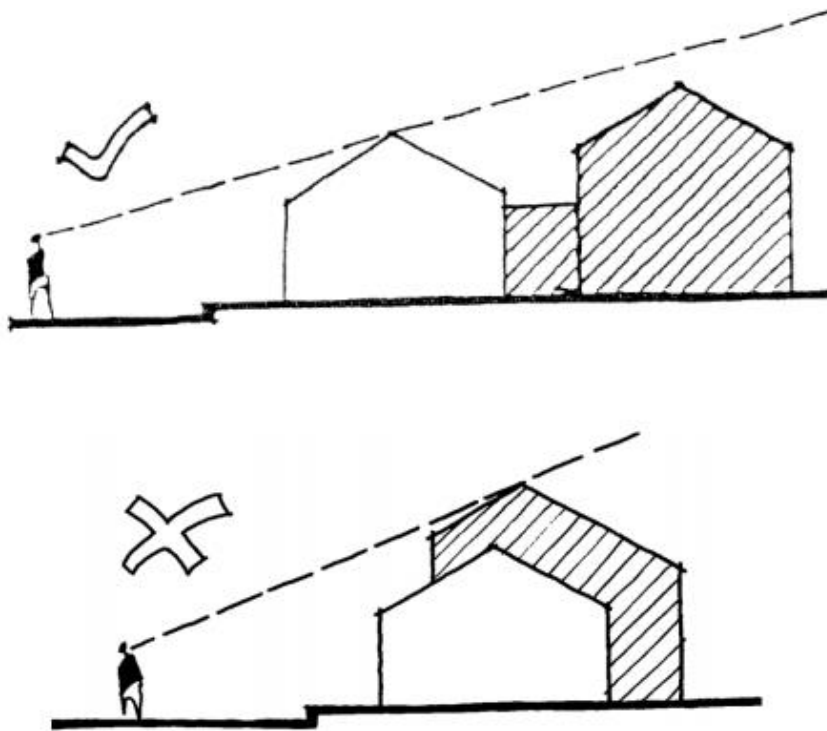
- O1 The objectives of these controls are to ensure that development to Contributory 1 buildings:
- encourages the retention of Contributory 1 buildings and their significant elements.
  - is based on an understanding of the heritage significance of the building.
  - encourages Contributory 1 buildings to be used for purposes that are appropriate to their heritage significance.
  - maintains the setting of the Contributory 1 building, including the relationship between the building and its surroundings.

- encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements
- encourages alterations and additions that retain and enhance the character of the building, the streetscape, and the broader HCA.

### Controls

- C1 Works to Contributory 1 buildings must be undertaken in accordance with the controls contained within this DCP more broadly.
- C2 Works to Contributory 1 buildings are to be assessed in the form of a heritage impact statement to be submitted to Council as part of a development application.
- C3 Major works to Contributory 1 buildings (such as additions) should be informed by a conservation management schedule or conservation management plan.
- C4 Contributory 1 buildings are to be retained unless the consent authority determines that removal is justified in exceptional circumstances (e.g. based on soundly demonstrated structural condition, or safety issues that conclusively preclude retention of the building).
- C5 Original roof forms are to be retained and maintained to Contributory 1 buildings.
- C6 Additional storeys or changes to the existing height of Contributory 1 buildings are not appropriate.
- C7 Alterations or additions to Contributory 1 buildings are to:
- respect the significant original or characteristic built form of the building;
  - retain significant fabric;
  - retain, and where possible, reinstate significant features and building elements (e.g. verandahs, fences, chimneys, joinery, architectural detailing);
  - use appropriate and complementary materials, finishes and colours;
  - respect the pattern, style, and dimensions of original windows and doors.
- C8 Alterations and additions must not significantly alter the appearance of principal or significant façades of Contributory 1 buildings, except to remove detracting or intrusive elements.
- C9 Additions are to be located to the rear of Contributory 1 buildings. Additions to the front or side of the building are not supported.
- C10 Additions to the rear of a Contributory 1 building are not to sit higher than the established roof form of the building. The addition should be designed so as to minimise its visibility from the streetscape and from within existing views to the building. The addition should not visually dominate the building. Consideration should be given to sightlines to additions from the streetscape (**Plate 5**).



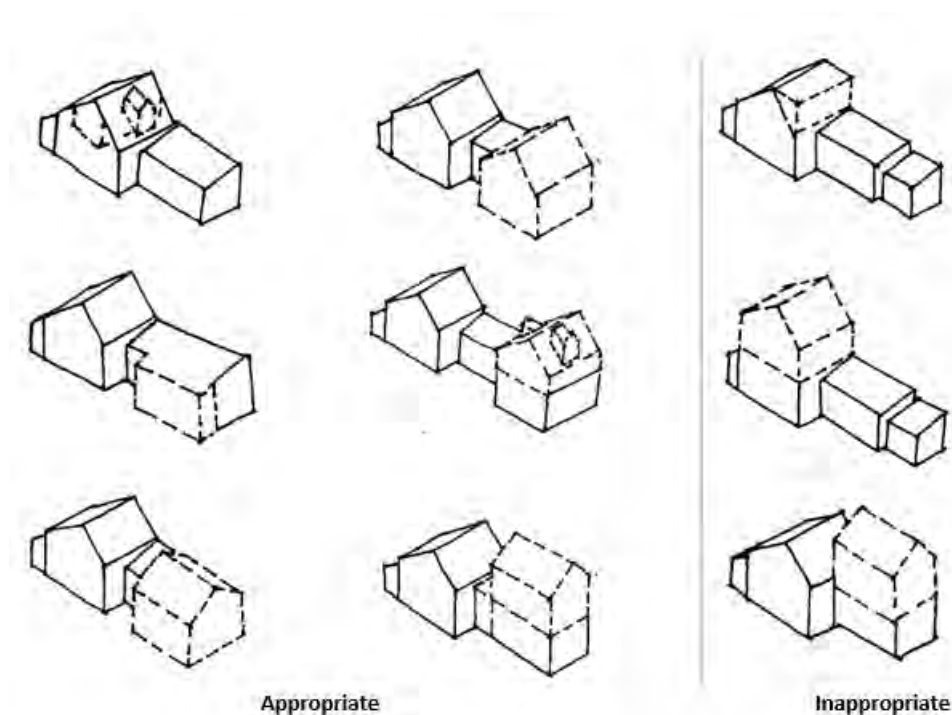


**Plate 5 Appropriate (top) and inappropriate (bottom) visibility of rear additions**

Source: LMCC *Heritage Guidelines*

C11 Additions should be clearly discernible as new work and as a 'separate entity' to the building (**Plate 6**). This can be achieved through:

- a detached addition;
- an addition that is attached via a breezeway or walkway;
- small scale additions in the form of a lean-to or pavilion;
- additions that maintain the scale and envelope of the building by making use of the underlying topography.



**Plate 6 Examples of appropriate additions (left of line) and inappropriate additions (right of line)**

Source: Woollahra Municipal Council, available at: [https://www.woollahra.nsw.gov.au/\\_data/assets/pdf\\_file/0015/150531/Chapter\\_C2\\_Woollahra\\_HCA.pdf](https://www.woollahra.nsw.gov.au/_data/assets/pdf_file/0015/150531/Chapter_C2_Woollahra_HCA.pdf)

- C12 The interface between additions and original building forms is to be made clear through an appropriate transition in materiality and/or design.
- C13 Physical intervention to Contributory 1 buildings to facilitate an addition must be carefully designed so as to minimise physical impacts and avoid, as much as is feasible, the removal of original fabric. The accompanying heritage impact statement must demonstrate the exploration of design options and justify the ultimate design outcome on the basis of minimising intervention.
- C14 Adaptive re-use proposals must aim to result in the least possible physical and visual impact. Significant fabric should be retained as part of any adaptive re-use, and changes concentrated in areas that have already been modified or are of lesser significance. The street presentation of the building must be maintained and, where possible, improved. An accompanying heritage impact statement must include a demonstration of how alternative proposals have been considered.
- C15 Works to the interiors of Contributory 1 buildings are to:
- retain the original floor plan as much as is possible, where this is still discernible;
  - make attempts to interpret the original floor plan through design elements if changes to the original floor plan are proposed;
  - retain and conserve original fabric including flooring, joinery, decorative ceilings, fireplaces, etc, unless it is beyond repair. Any proposal that states that an original or significant element is beyond repair must be supported by an assessment provided by a suitably qualified professional such as a structural engineer.

### 3.4.2 Contributory 2 Buildings

Contributory 2 buildings are buildings that do not detract from the significant character of the heritage conservation area or heritage streetscape. Buildings that do not belong to a key period of significance, good contemporary infill, and development from a key period of significance which has been irreversibly altered, are identified as Contributory 2.

#### Objectives

- O1 To maintain the character and significance of the West Wallsend and Holmesville HCA through the management of Contributory 2 buildings.
- O2 To encourage the removal of unsympathetic alterations and additions to improve the contribution of Contributory 2 buildings to the heritage conservation area.

#### Controls

- C1 The removal of intrusive or detracting features from a building graded as Contributory 2 is encouraged where this would improve the building's contribution to the heritage significance of the West Wallsend and Holmesville HCA.
- C2 Demolition of Contributory 2 buildings will only be considered where it can be demonstrated that the replacement building will not compromise the heritage significance of the heritage conservation area or heritage streetscape.
- C3 In the event of approved demolition, the redevelopment of sites that contain Contributory 2 buildings is to be undertaken in accordance with the controls contained within **Section 3.1.7** of this document.
- C4 Works to Contributory 2 buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
  - style, colour, materiality, form, scale and height.
  - views and vistas of significance.
  - the integrity and consistency of the surrounding streetscape.

### 3.4.3 Non-Contributory Buildings

Non-Contributory buildings are buildings that are intrusive to a heritage conservation area or heritage streetscape because of inappropriate scale, bulk, setbacks, setting or materials. They do not represent a key period of significance and detract from the character of a heritage conservation area or heritage streetscape.

#### Objectives

- O1 To encourage the sympathetic redevelopment of sites containing Non-Contributory buildings in a way which reinforces the heritage context of the area.
- O2 To maintain the character and significance of the West Wallsend and Holmesville HCA through the management of Non-Contributory buildings.



## Controls

- C1 The redevelopment of sites that contain Non-Contributory buildings is encouraged where the replacement building would make a more positive contribution to the heritage significance of the West Wallsend and Holmesville HCA.
- C2 The redevelopment of sites that contain Non-Contributory buildings is to be undertaken in accordance with the controls contained within **Section 3.1.7** of this document.
- C3 Works to Non-Contributory buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
- style, colour, materiality, form, scale and height;
  - views and vistas of significance;
  - the integrity and consistency of the surrounding streetscape.

## **3.5 The Landscape Buffer Zone**

The Landscape Buffer Zone is intended to:

- Provide a visual and spatial buffer between the HCA and any medium to high density residential or commercial development proposed in the future.
- Avoid a similar situation to that presented by the Appletree Grove Estate, where development in the immediate proximity of the HCA has resulted in significant adverse visual and aesthetic impacts.
- Maintain the shared setting of West Wallsend and Holmesville, which is strong characterised by undeveloped and vegetated land to the north, east and west. This shared setting contributes strongly to the HCA's identified aesthetic significance and should be preserved.

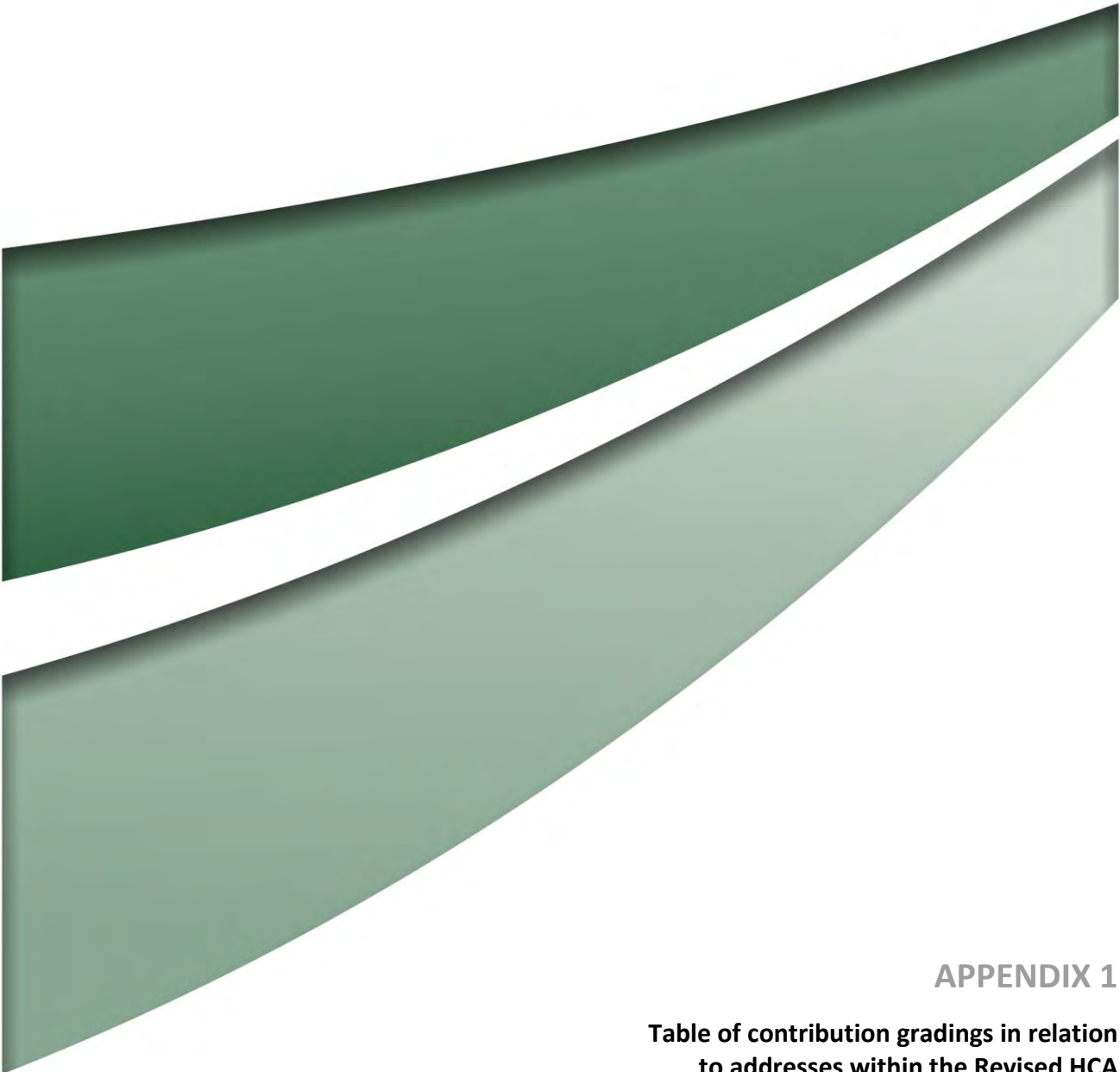
This is reflected in the below objectives and controls.

### Objectives

- O1 Provide a visual and spatial buffer between the HCA and any medium to high density residential or commercial development proposed in the future.
- O2 Maintain the shared setting of West Wallsend and Holmesville, which contributes strongly to the HCA's identified aesthetic significance and should be preserved.

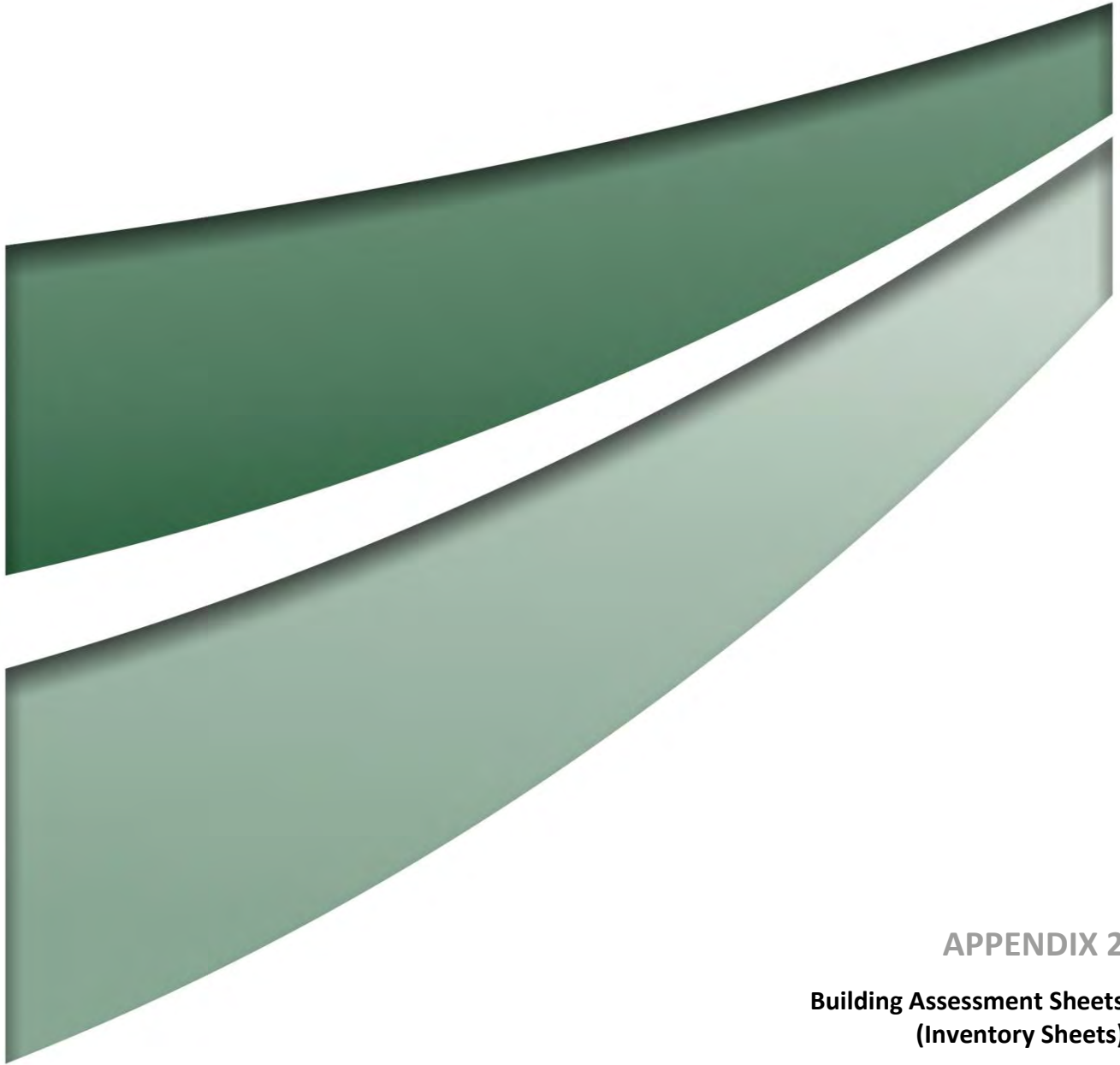
### Controls

- C1 Development within the Landscape Buffer Zone should be limited to low-scale, localised structures intended to support the use and visitation of the HCA.
- C2 Medium to high-density development should not occur within the Landscape Buffer Zone.
- C3 Any proposal for development within the Landscape Buffer Zone must be accompanied by a heritage impact statement including a visual assessment that considers the visual and aesthetic impacts of the proposal.
- C4 The undeveloped, vegetated character of the Landscape Buffer Zone should be maintained.



**APPENDIX 1**

**Table of contribution gradings in relation  
to addresses within the Revised HCA**



## APPENDIX 2

**Building Assessment Sheets  
(Inventory Sheets)**